

FY2023-FY2025 Facade Restoration at Guaranteed Rate Field

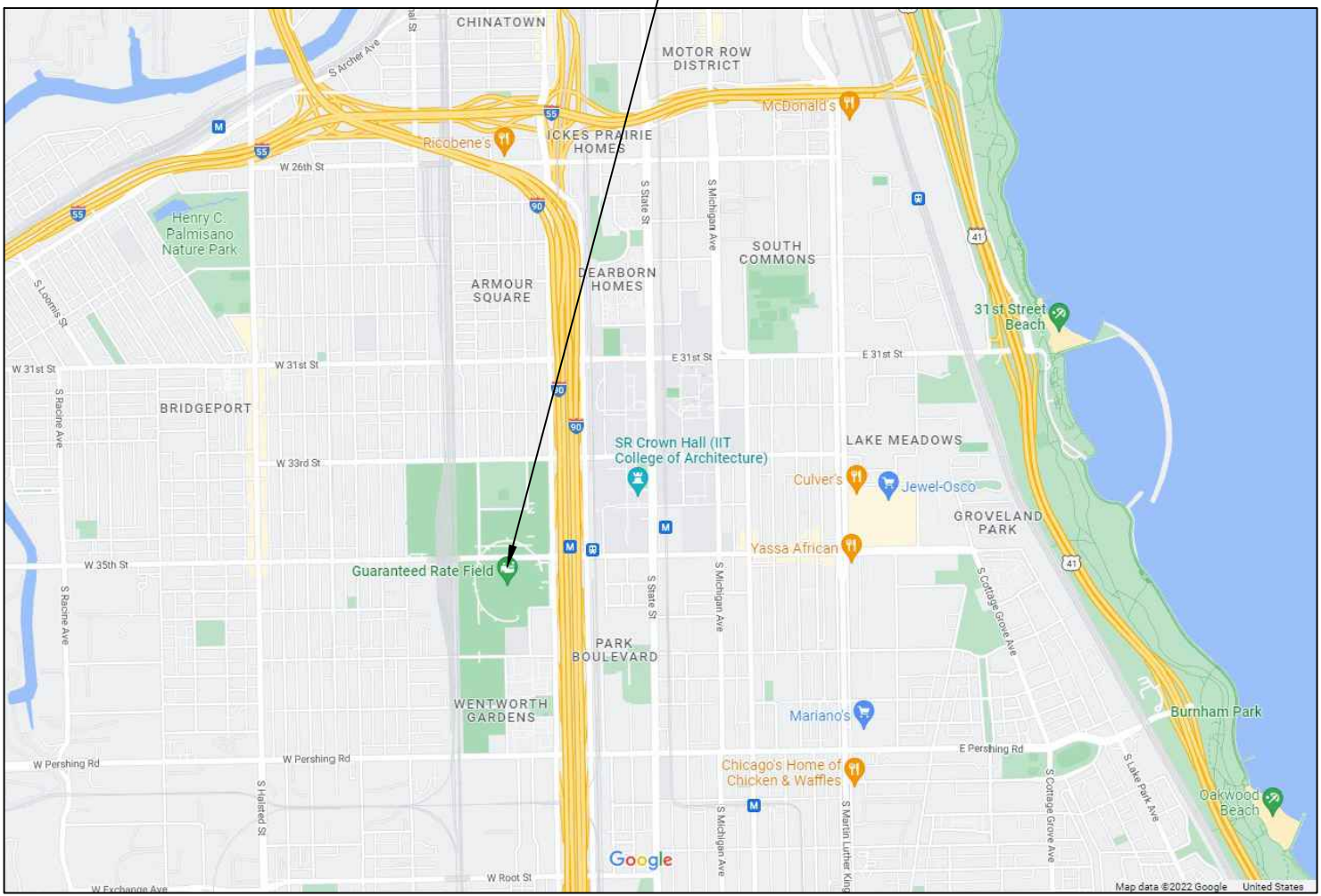
Project: **FY2023-FY2025 Facade Restoration at Guaranteed Rate Field**
333 West 35th Street
Chicago, Illinois 60616

Client: **Illinois Sports Facilities Authority**
333 West 35th Street
Chicago, Illinois 60616

Engineer: **Wiss, Janney, Elstner Associates, Inc.**
330 Pfingsten Road
Northbrook, Illinois 60062
847.272.7400 tel | 847.291.9599 fax
www.wje.com

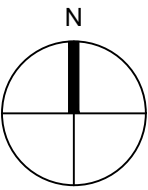
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NOTE: IMAGE FROM GOOGLE ACCESSED 8/9/2022, ANNOTATIONS BY WJE

PROJECT LOCATION
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330 Pfingsten Road
Northbrook, Illinois 60062
847.272.7400 tel | 847.291.9599 fax
www.wje.com

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PRELIMINARY

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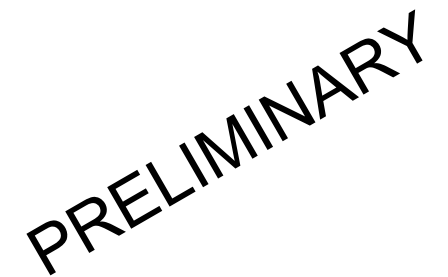


Project No.	2021.4701
Date	8/17/2022
Drawn	AHD
Checked	BRG
Scale	As Noted

Sheet Title
Title Sheet
Sheet No.
S-001

1. REMOVE ALL EXISTING SEALANT FROM PRECAST CONCRETE PANEL JOINTS, PRECAST CONCRETE TO WINDOW JOINTS, AND PRECAST CONCRETE TO LOUVER JOINTS ON THE EXTERIOR FACADE OF THE BALLPARK. AT ALL EXTERIOR SEALANT JOINTS, INSTALL NEW BACKER ROD AND SILICONE SEALANT.
2. REMOVE ALL EXISTING EXPANSION JOINTS FROM THE EXTERIOR FACADE OF THE BALLPARK AND INSTALL NEW EXPANSION JOINT SEALS.
3. PERFORM CONCRETE REPAIRS TO EXISTING ARCHITECTURAL PRECAST CONCRETE PANELS AT LOCATIONS NOTED ON EXTERIOR FACADE OF THE BALLPARK AND PEDESTRIAN RAMPS. NEW CONCRETE PATCHES SHALL MATCH EXISTING PRECAST PANEL COLOR AND FINISH.
4. PEDESTRIAN RAMPS:
 - a. REPAIR CONCRETE SPANDREL BEAM SPALLS AT EMBEDDED CONNECTIONS WHERE NOTED ON DRAWINGS.
 - b. REMOVE SPALLED OR DELAMINATED MORTAR PATCHES IN ORDER TO COMPLETELY EXPOSE UNDERLYING PRECAST CONNECTION PLATES, AND PAINT CONNECTION PLATES.
 - c. REPAIR CONCRETE SPANDREL BEAM SPALLS AT LOCATIONS OF EMBEDDED HANDRAIL CONNECTIONS.
 - d. REPAIR SPALLED CONCRETE BEAM ENDS WITH EXPOSED PRESTRESSING STRANDS.
 - e. REMOVE SCALED AND LOOSE CONCRETE, AND CLEAN AND PAINT EXISTING CONNECTION PLATES ON COLUMN FACES.
 - f. REPAIR SPALLED OR DELAMINATED CONCRETE ON VERTICAL SURFACES OF COLUMNS OR BEAMS.
 - g. REPAIR EXISTING CORBELS WHERE NOTED ON RAMP 6. INSTALL SHORING.
5. CLEAN AND PAINT EXPOSED REINFORCING STEEL BAR ENDS ON EXTERIOR FACADE OF THE BALLPARK AT LOCATIONS WHERE THE SURROUNDING CONCRETE IS SOUND. PAINTED FINISH SHALL MATCH SURROUNDING COLOR OF PRECAST CONCRETE.
6. THE LOCATION OF SEALANT, EXPANSION JOINTS AND CONCRETE SPALLS SHOWN ON PLANS ARE FOR REFERENCE ONLY. CONTRACTOR IS REQUIRED TO VERIFY LOCATIONS OF ALL EXTERIOR SEALANT, EXPANSION JOINTS, AND CONCRETE SPALLS ON THE FACADE OF THE BALLPARK AND REPAIR ACCORDINGLY.

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD. DO NOT SCALE DRAWINGS. DIMENSIONS SHOWN ON THE DRAWINGS ARE TAKEN FROM THE ORIGINAL CONSTRUCTION DOCUMENTS AND ARE PROVIDED FOR INFORMATION ONLY.
2. CONTRACTOR SHALL VERIFY ALL QUANTITIES. QUANTITIES SHOWN ARE FOR ESTIMATING PURPOSES ONLY.
3. THE CONTRACTOR SHALL PROVIDE PROOF OF INSURANCE PRIOR TO THE START OF WORK.
4. THERE SHALL BE COMPLETE COOPERATION BETWEEN THE GENERAL CONTRACTOR AND SUB-CONTRACTORS TO ENSURE SATISFACTORY PROGRESS AND PERFORMANCE OF THE WORK.
5. THE CONTRACTOR SHALL VERIFY EXISTING PLUMBING AND ELECTRICAL LINES AND EQUIPMENT THAT WILL BE ACCESSED AS PART OF WORK PERFORMED.
6. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, LICENSES AND GOVERNMENT FEES AS REQUIRED. THE CONTRACTOR SHALL COMPLY WITH CODES, ORDINANCES, RULES, REGULATIONS, ORDERS AND OTHER LEGAL REQUIREMENTS OF PUBLIC AUTHORITY, WHICH BEAR ON THE PERFORMANCE OF THE WORK.
7. CONTRACTOR SHALL PROMPTLY SUBMIT VERBAL AND WRITTEN NOTICE TO THE ARCHITECT/ENGINEER OF OBSERVED VARIANCE OF THE CONTRACT DOCUMENTS FROM ACTUAL ON-SITE CONDITIONS.
8. THE EXISTING BUILDING MUST REMAIN IN OPERATION 100 PERCENT OF THE TIME. DEMOLITION REQUIRED SHALL PROCEED ONLY AT THE DIRECTION OF THE OWNER ACCORDING TO SCHEDULES AS MUTUALLY AGREED UPON. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY CONTROLS AS NECESSARY TO ALLOW FOR THE BUILDING OPERATIONS.
9. THE CONTRACTOR WILL LIMIT ON-SITE STORAGE OF MATERIALS TO THOSE AREAS IDENTIFIED BY THE OWNER.
10. WATER AND ELECTRICITY MAY BE TAKEN FROM THE BUILDING FOR CONSTRUCTION PURPOSES ONLY AT AREAS IDENTIFIED ACCEPTABLE BY THE OWNER. TOILET FACILITIES IN BUILDING SHALL NOT BE USED BY THE CONTRACTOR.
11. CONTRACTOR SHALL PROVIDE AND MAINTAIN REQUIRED DUST BARRIERS, CANOPIES, BARRICADES, PROTECTION AND WARNING LIGHTS IN GOOD CONDITION UNTIL THE COMPLETION OF THE WORK REQUIRING SUCH PROTECTION AND THEN REMOVE THE SAME. ALL CANOPIES AND BARRICADES SHALL COMPLY WITH FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS.
12. THE CONTRACTOR SHALL MAINTAIN PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIAL AND RUBBISH. PRECAUTIONS SHOULD BE TAKEN TO MINIMIZE BLOWING DUST FROM ENTERING THE BUILDING.
13. CONTRACTOR SHALL PROTECT THE BUILDING EXTERIOR AND INTERIOR FINISHES AGAINST DAMAGE AT ALL TIMES RESULTING FROM THE WORK PERFORMED. THE CONTRACTOR IS TO RETURN DAMAGED AREAS TO ORIGINAL CONDITION.
14. THE CONTRACTOR SHALL PROTECT GROUNDS AND LANDSCAPING WHEN PERFORMING WORK. THE CONTRACTOR WILL BE RESPONSIBLE FOR DAMAGE TO GROUNDS AND LANDSCAPING AND BE REQUIRED TO REPAIR OR REPLACE AS NECESSARY.
15. CONTRACTOR SHALL COMPLY WITH ALL SECURITY PROCEDURES.
16. COSTS CAUSED BY ILL-TIMED WORK, DEFECTIVE WORK OR WORK NOT CONFORMING TO THE CONTRACT DOCUMENTS, ARE THE RESPONSIBILITY OF THE CONTRACTOR.
17. THE CONTRACTOR SHALL PROVIDE SHORING, BRACING AND SUPPORT AS REQUIRED TO MAINTAIN THE STRUCTURAL INTEGRITY OF THE NEW OR EXISTING CONSTRUCTION DURING THE WORK.
18. DO NOT STOCKPILE CONSTRUCTION MATERIAL IN A MANNER THAT WILL OVERLOAD OR EXCEED THE CAPACITY OF THE STRUCTURAL MEMBERS. CONSTRUCTION DEBRIS SHALL BE REMOVED IN A MANNER THAT AVOIDS OVERLOADING ADJACENT STRUCTURAL MEMBERS.



Client

**Illinois Sports Facilities
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Scale	As Noted

Notes

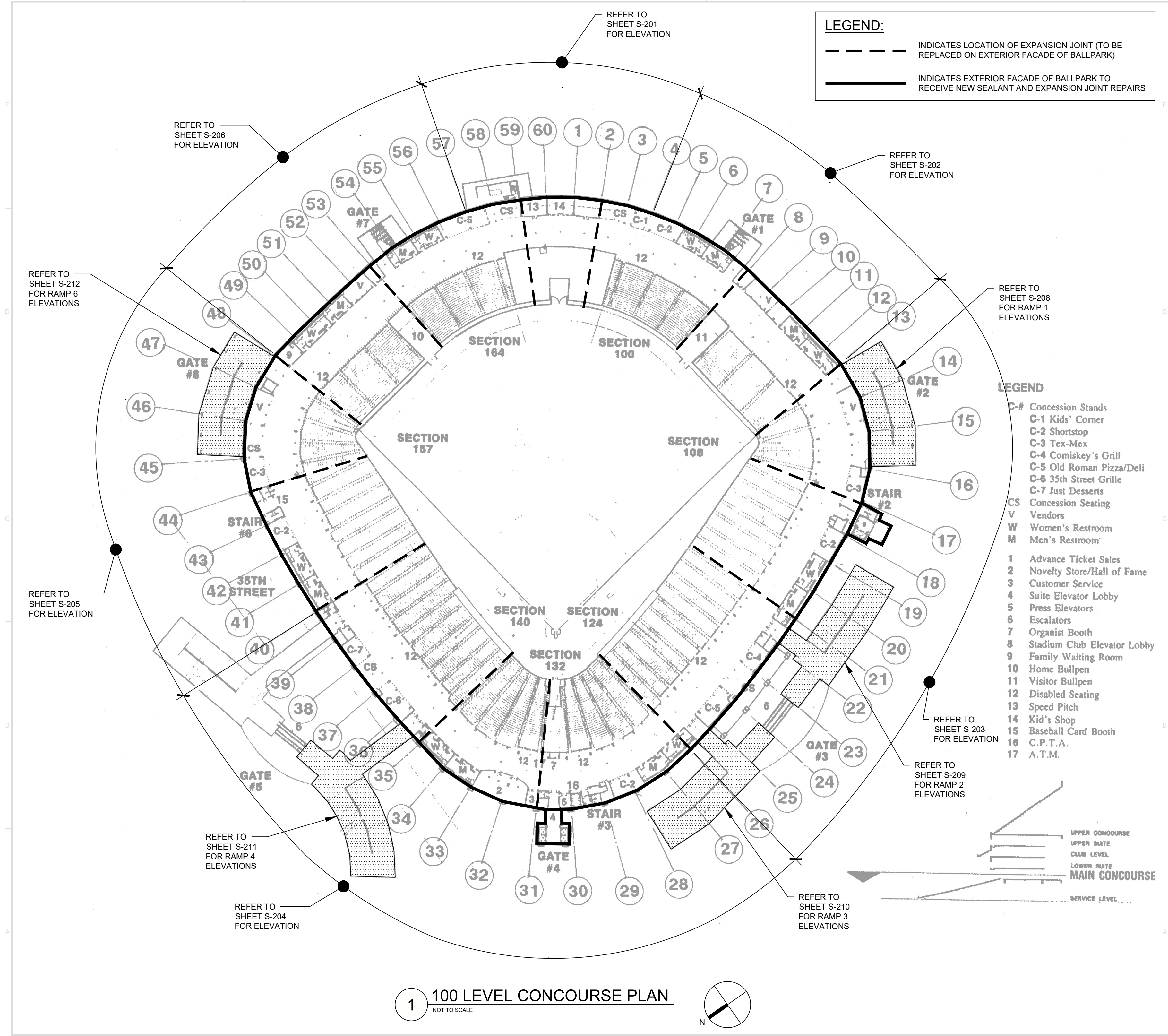
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Sheet No.

S-002

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Project: 8/17/2022 7:02 PM by Dene, Andrew H. File Name: p:\2021\2021_400\2021_4701\0 - gfr - 100 Level Concourse Plan.dwg



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330 Pfingsten Road
Northbrook, Illinois 60062
847.272.7400 tel | 847.291.9599 fax
www.wje.com

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Checked BRG
Scale As Noted







Sheet Title

Sheet No.

100 Level
Concourse Plan

S-101



LEGEND:		
 ARCHITECTURAL PRECAST PANEL SPALL (SEE REPAIR DETAIL 1/S-502)		INDICATES PRECAST TO PRECAST SEALANT JOINT TO BE REMOVED AND REPLACED. SEE SHEET S-502 FOR ADDITIONAL INFORMATION.
 EXPOSED REINFORCING STEEL BAR END. DRILL BACK BAR END, CLEAN AND PAINT, AND INSTALL SEALANT.		INDICATES EXPANSION JOINT TO BE REMOVED AND REPLACED. SEE SHEET S-502 FOR ADDITIONAL INFORMATION.
 REMOVE AND REPLACE SPALLED CMU (SEE REPAIR DETAIL 5/S-503)		INDICATES PRECAST TO WINDOW / LOUVER SEALANT JOINT TO BE REMOVED AND REPLACED. SEE SHEET S-502 FOR ADDITIONAL INFORMATION.

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Mark	Date	Description

0 1/2" 1" 2"

THIS SHEET PLOTS FULL SIZE.
AT 18x24 (INCHES)

Project No.	2021.4701
Date	8/17/2022
Drawn	AHD
Checked	BRG
Scale	As Noted

Partial Facade Elevation (Column Lines 57 to 4)

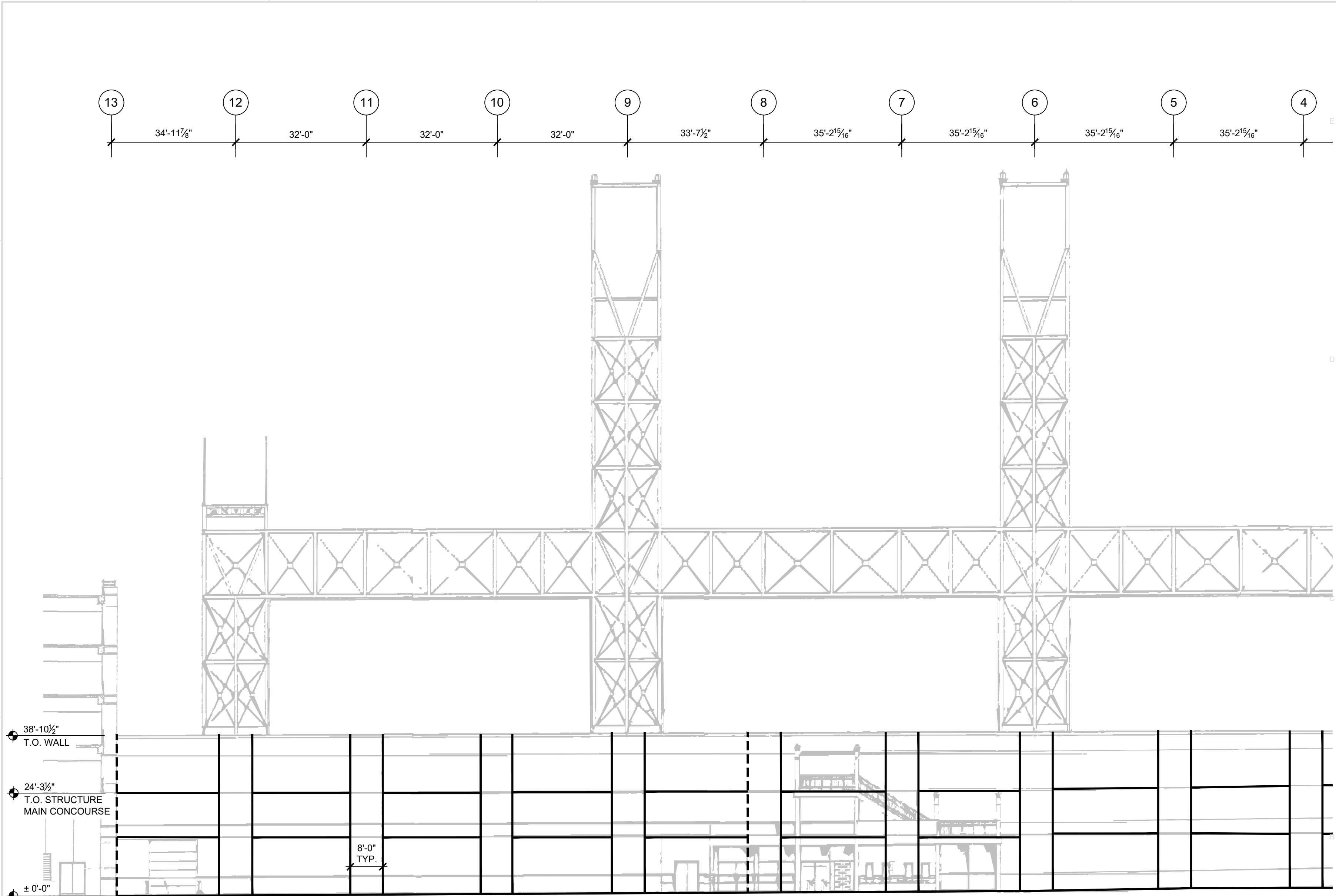
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S-201

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1

PARTIAL FACADE ELEVATION (COLUMN LINES 4 TO 13)

NOT TO SCALE

LEGEND:

ARCHITECTURAL PRECAST PANEL SPALL (SEE REPAIR DETAIL 1/S-502)

EXPOSED REINFORCING STEEL BAR END. DRILL BACK BAR END, CLEAN AND PAINT, AND INSTALL SEALANT.

REMOVE AND REPLACE SPALLED CMU (SEE REPAIR DETAIL 5/S-503)

INDICATES PRECAST TO PRECAST SEALANT JOINT TO BE REMOVED AND REPLACED. SEE SHEET S-502 FOR ADDITIONAL INFORMATION.

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Partial Facade Elevation
(Column Lines 4 to 13)

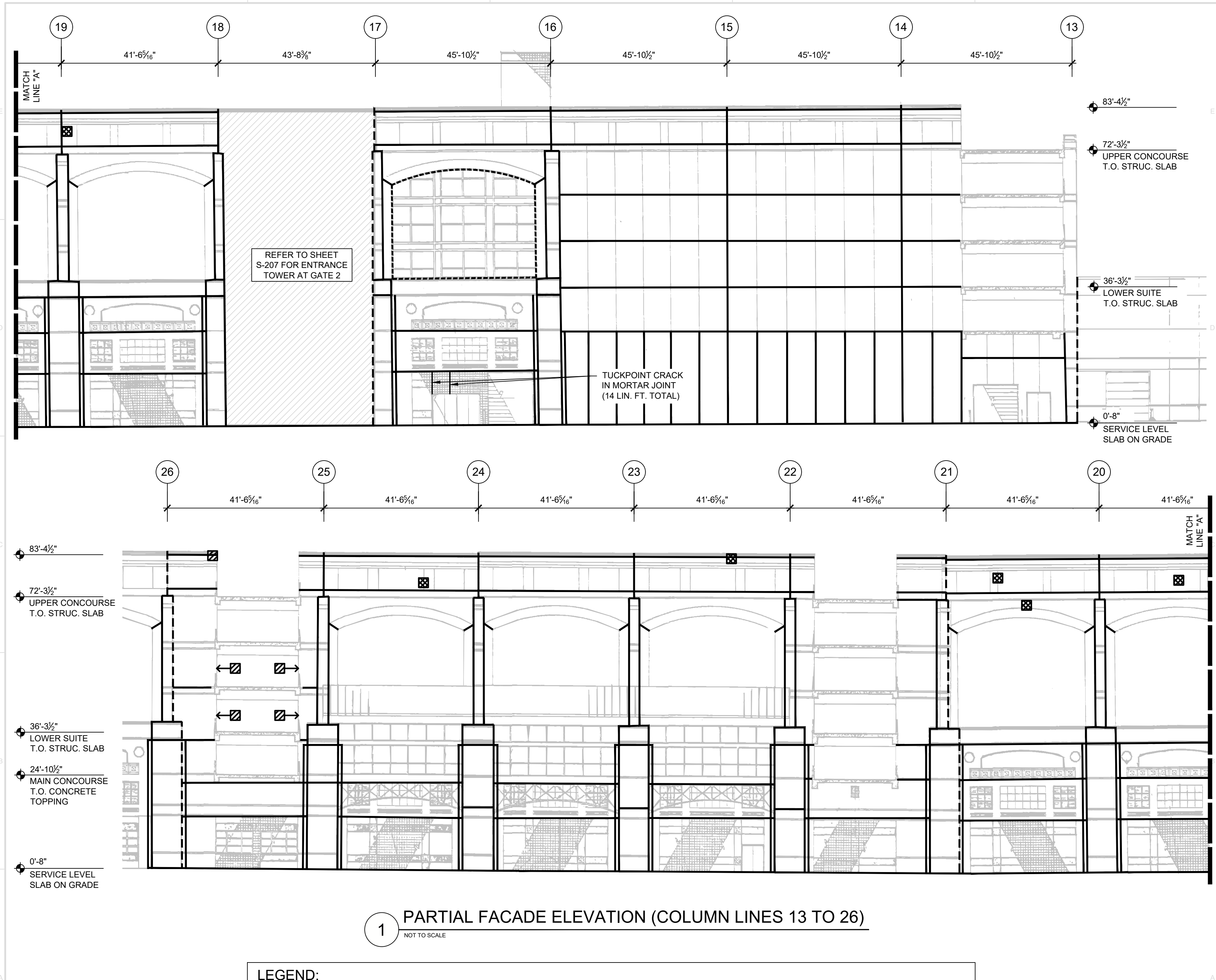
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S-202

Printed: 8/17/2022 7:03 PM by Dana, Andrew H. File Name: p:\2021\2021 4701 0-grf-1422-repair (66)14 facade repair project\Sheets\203 Partial Facade Elevation (Column Lines 13 to 26).dwg

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1 PARTIAL FACADE ELEVATION (COLUMN LINES 13 TO 26)
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Scale As Noted

Partial Facade Elevation
(Column Lines 13 to 26)

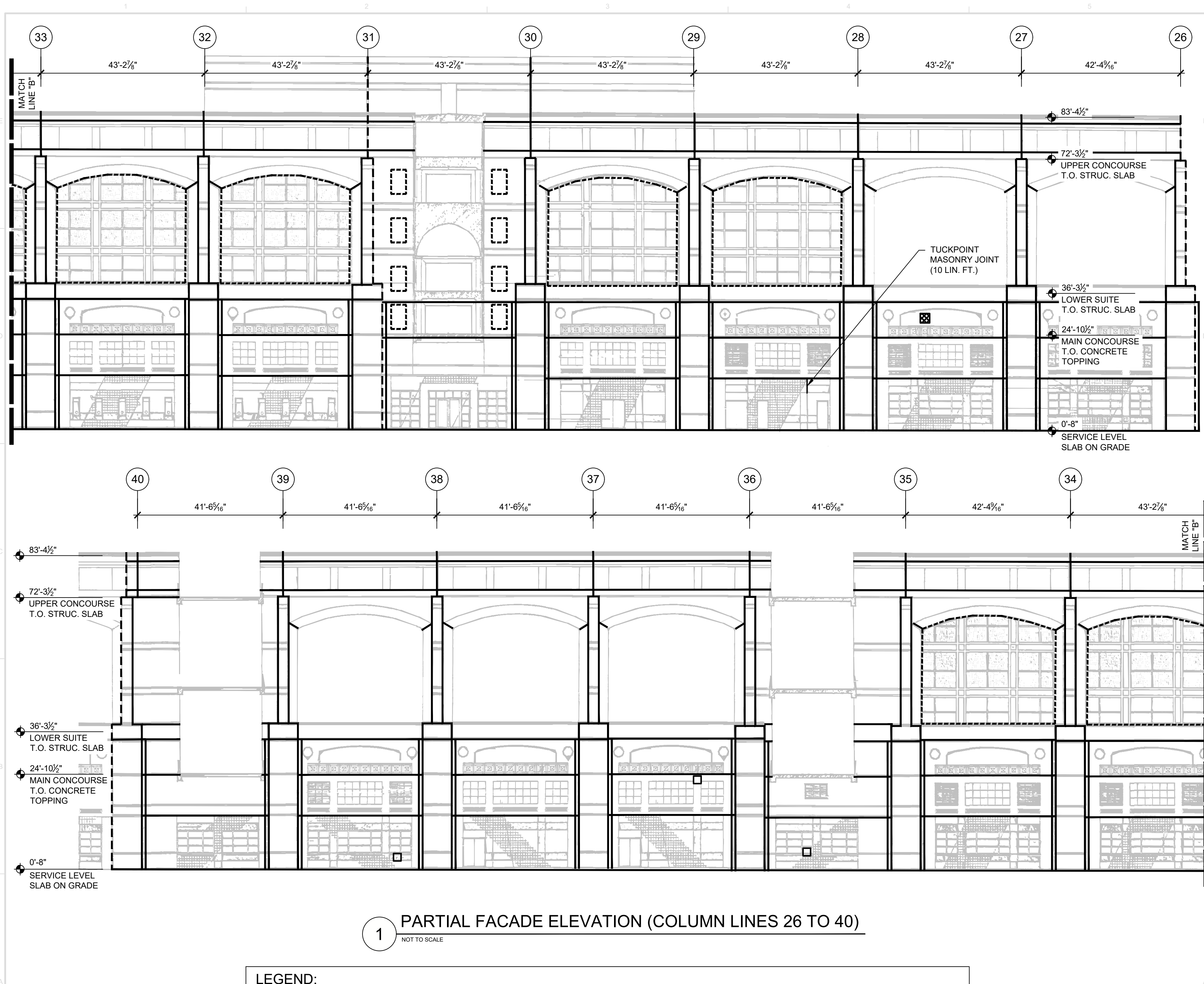
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S-203

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1 PARTIAL FACADE ELEVATION (COLUMN LINES 26 TO 40)
NOT TO SCALE

LEGEND:

ARCHITECTURAL PRECAST PANEL SPALL (SEE REPAIR DETAIL 1/S-502)

EXPOSED REINFORCING STEEL BAR END. DRILL BACK BAR END, CLEAN AND PAINT, AND INSTALL SEALANT.

REMOVE AND REPLACE SPALLED CMU (SEE REPAIR DETAIL 5/S-503)

INDICATES PRECAST TO PRECAST SEALANT JOINT TO BE REMOVED AND REPLACED. SEE SHEET S-502 FOR ADDITIONAL INFORMATION.

INDICATES EXPANSION JOINT TO BE REMOVED AND REPLACED. SEE SHEET S-502 FOR ADDITIONAL INFORMATION.

INDICATES PRECAST TO WINDOW / LOUVER SEALANT JOINT TO BE REMOVED AND REPLACED. SEE SHEET S-502 FOR ADDITIONAL INFORMATION.



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Partial Facade Elevation
(Column Lines 26 to 40)

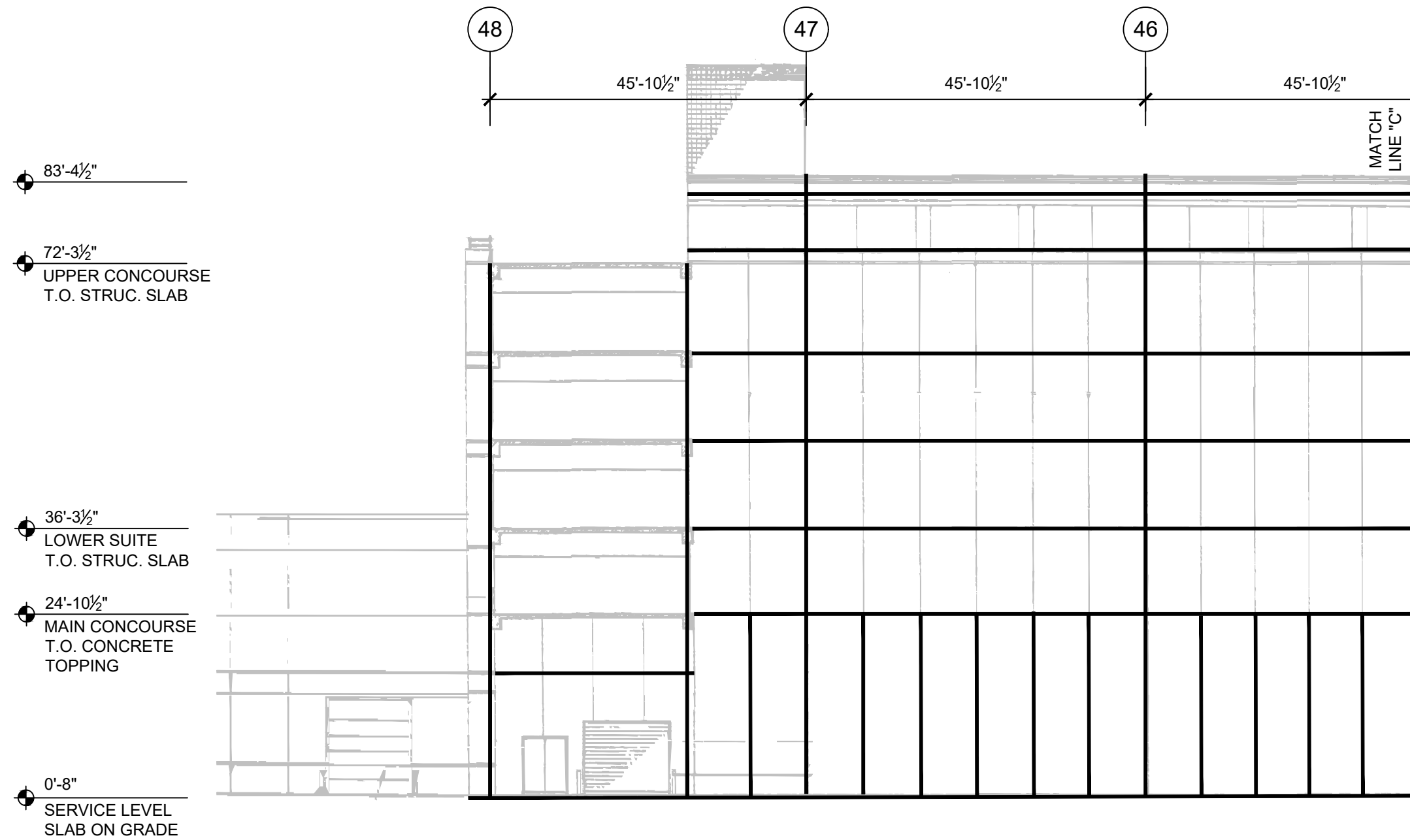
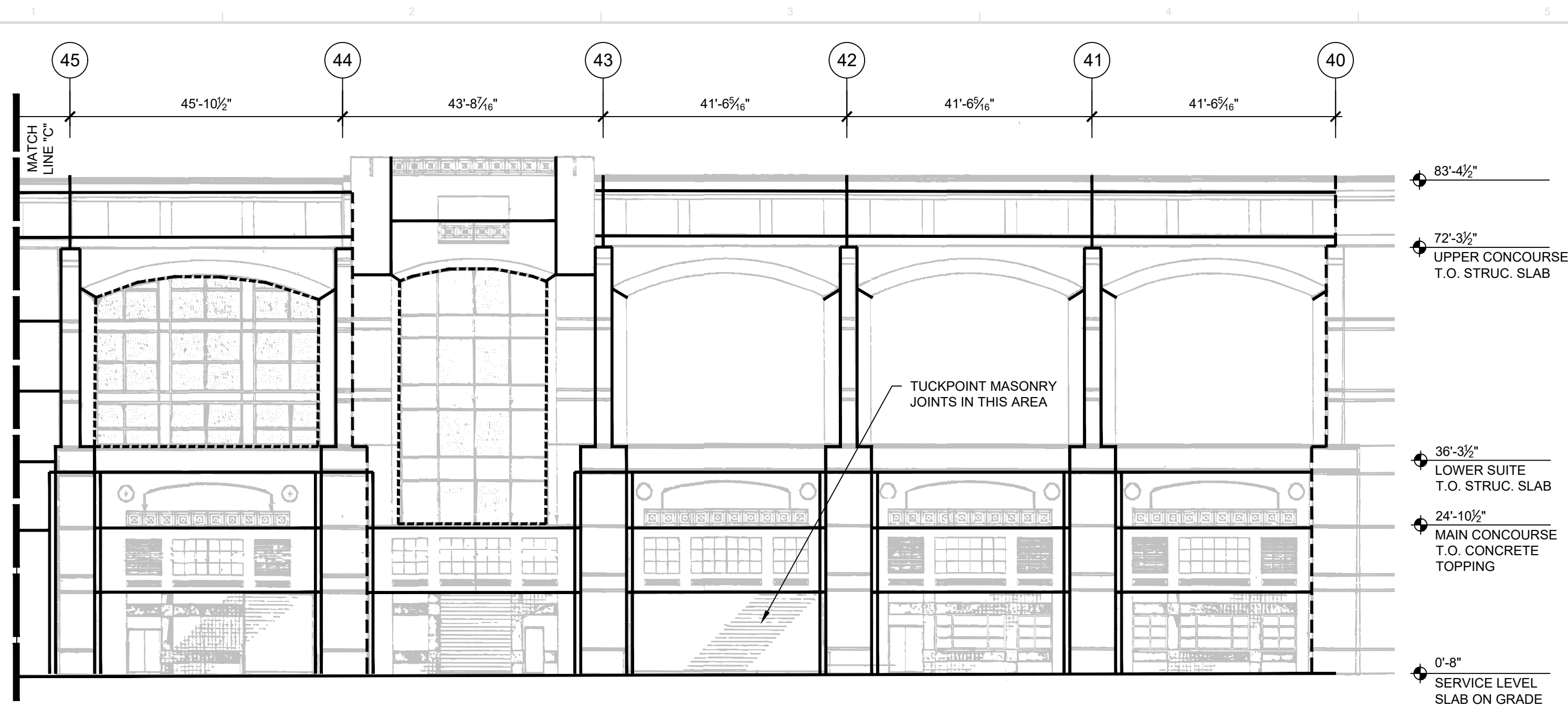
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S-204

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NOT TO SCALE

LEGEND:

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EXPOSED REINFORCING STEEL BAR END. DRILL BACK BAR END, CLEAN AND PAINT, AND INSTALL SEALANT.

REMOVE AND REPLACE SPALLED CMU (SEE REPAIR DETAIL 5/S-503)

INDICATES PRECAST TO PRECAST SEALANT JOINT TO BE REMOVED AND REPLACED. SEE SHEET S-502 FOR ADDITIONAL INFORMATION.

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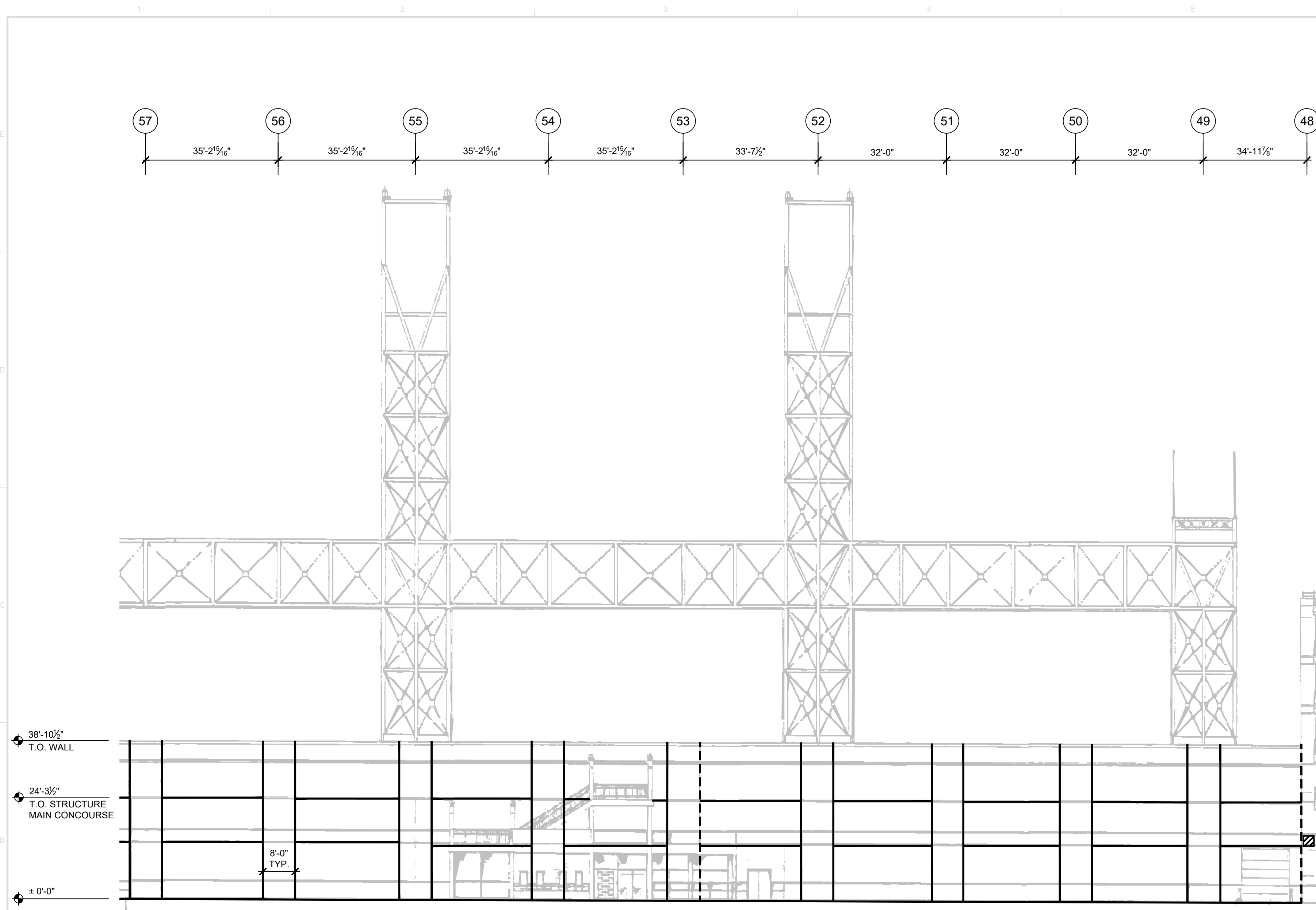
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Scale As Noted

Partial Facade Elevation
(Column Lines 40 to 48)

Sheet Title







Sheet No.

S-205



1 PARTIAL FACADE ELEVATION (COLUMN LINES 48 TO 57)
NOT TO SCALE

LEGEND:

- | | | |
|---|---|---|
|  <p>ARCHITECTURAL PRECAST PANEL
SPALL (SEE REPAIR DETAIL 1/S-502)</p> |  | <p>INDICATES PRECAST TO PRECAST SEALANT JOINT TO BE REMOVED
AND REPLACED. SEE SHEET S-502 FOR ADDITIONAL INFORMATION.</p> |
|  <p>EXPOSED REINFORCING STEEL BAR END. DRILL BACK
BAR END, CLEAN AND PAINT, AND INSTALL SEALANT.</p> |  | <p>INDICATES EXPANSION JOINT TO BE REMOVED AND REPLACED.
SEE SHEET S-502 FOR ADDITIONAL INFORMATION.</p> |
|  <p>REMOVE AND REPLACE SPALLED
CMU (SEE REPAIR DETAIL 5/S-503)</p> |  | <p>INDICATES PRECAST TO WINDOW / LOUVER SEALANT JOINT TO BE REMOVED
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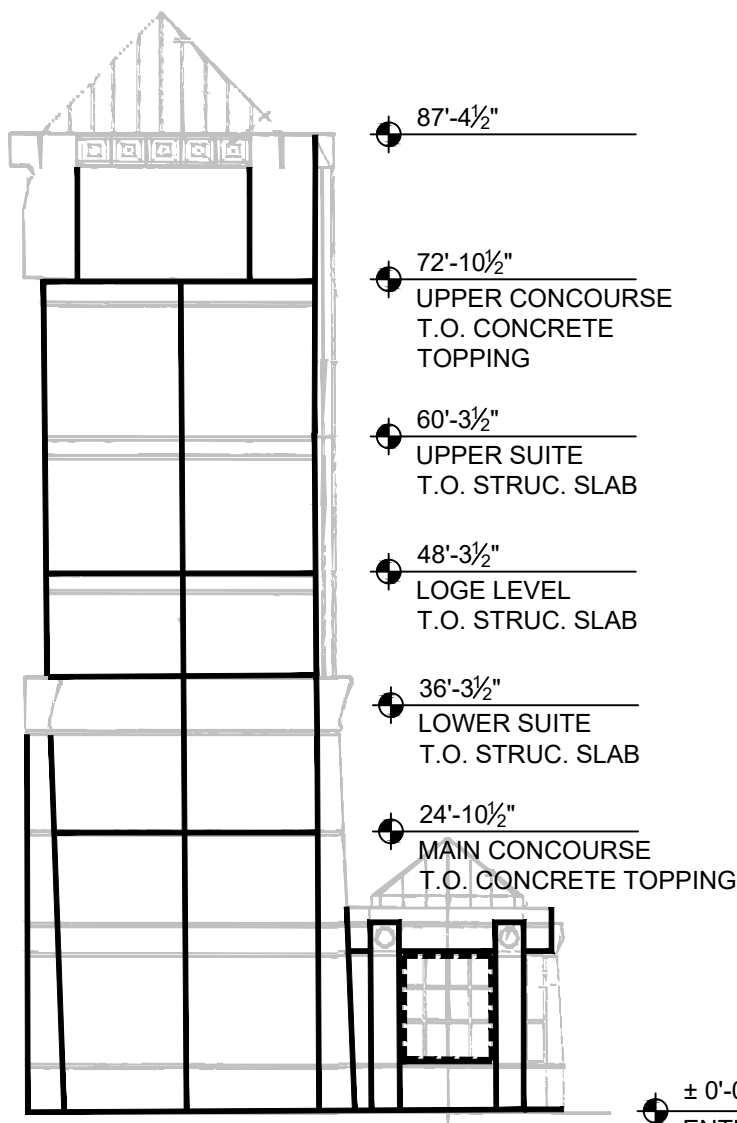
Partial Facade Elevation (Column Lines 48 to 57)

Sheet Title

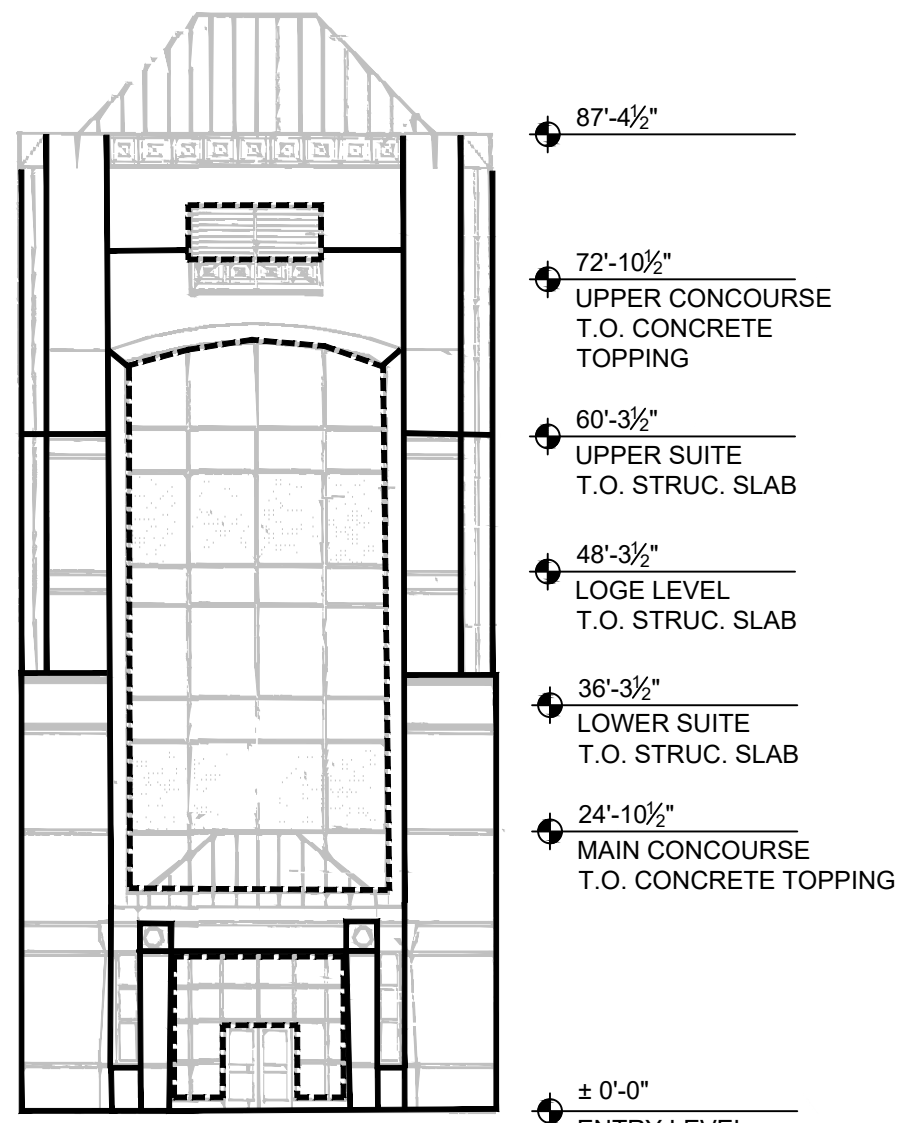
S-206

Plotted: 8/17/2022 7:04 PM by Doane, Andrew H. File Name: p:\2021\2021_400\2021_470\10 - gfd - 472\rebar (4014 facade repair project)\Sheets\207 Gate 2 and Gate 4 Tower Facade Elevations.dwg

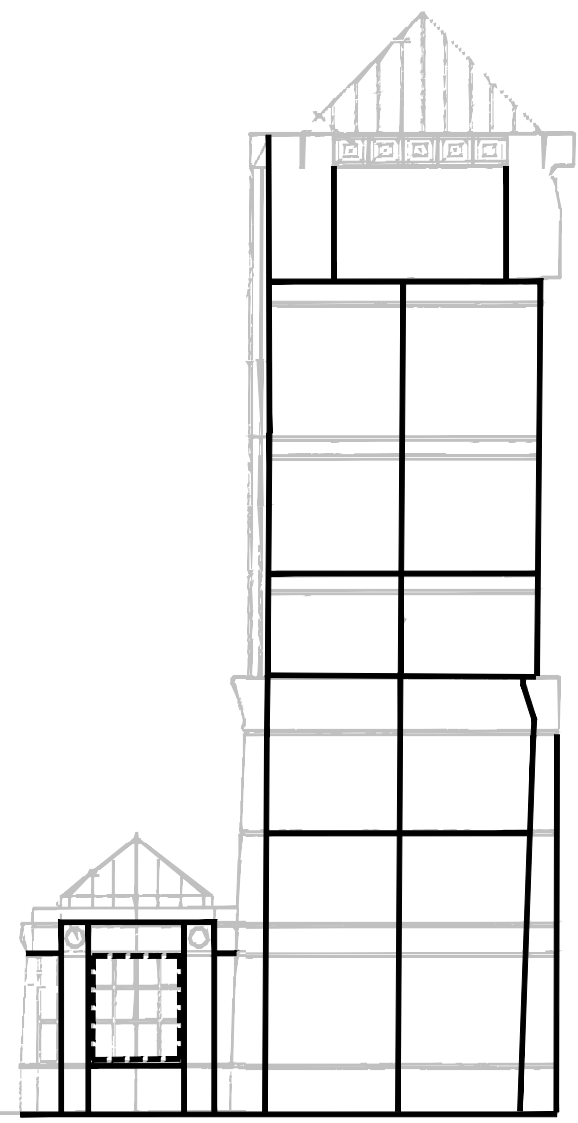
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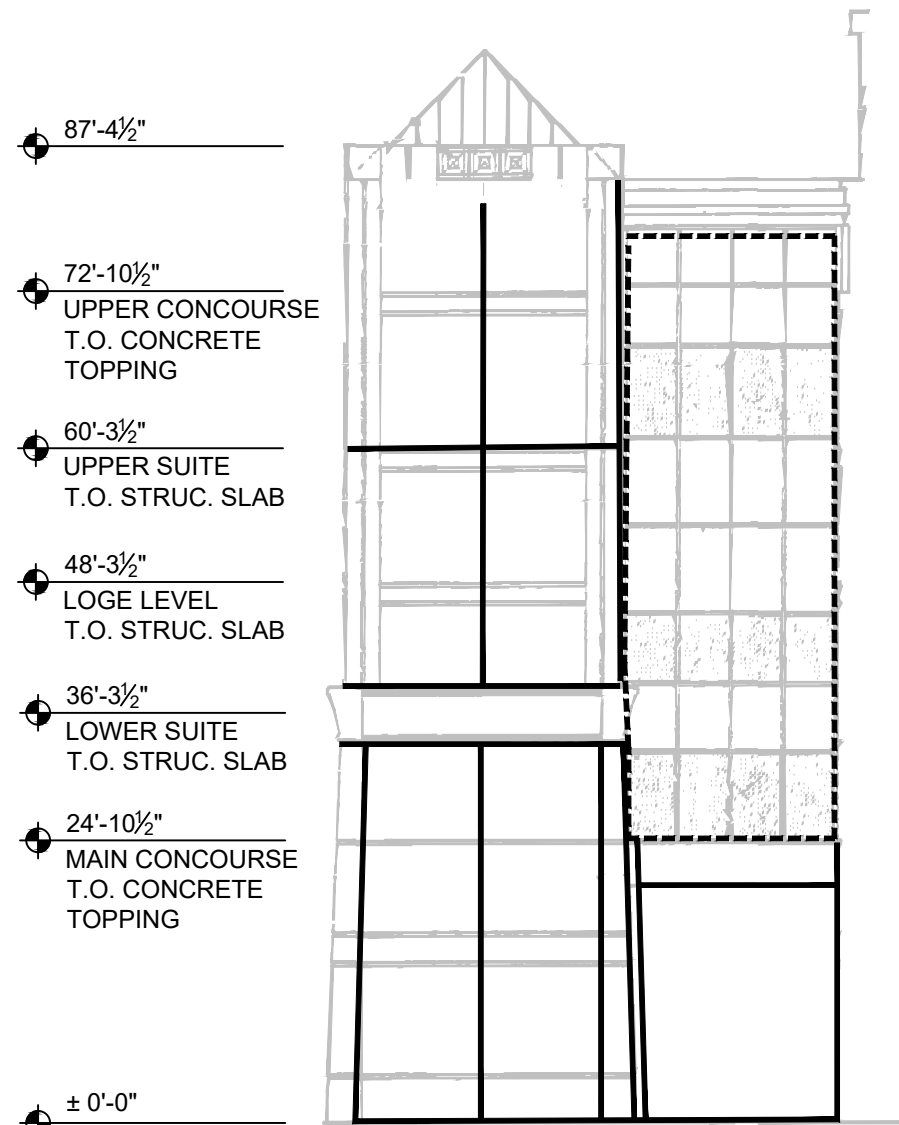
SIDE ELEVATION OF STADIUM
CLUB ENTRY - GATE 2



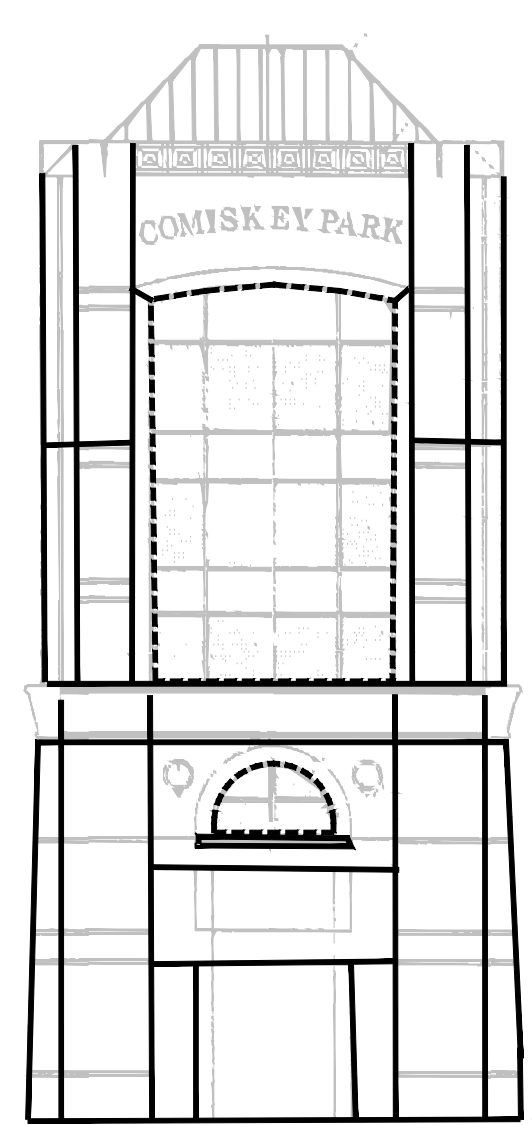
FRONT ELEVATION OF STADIUM
CLUB ENTRY - GATE 2



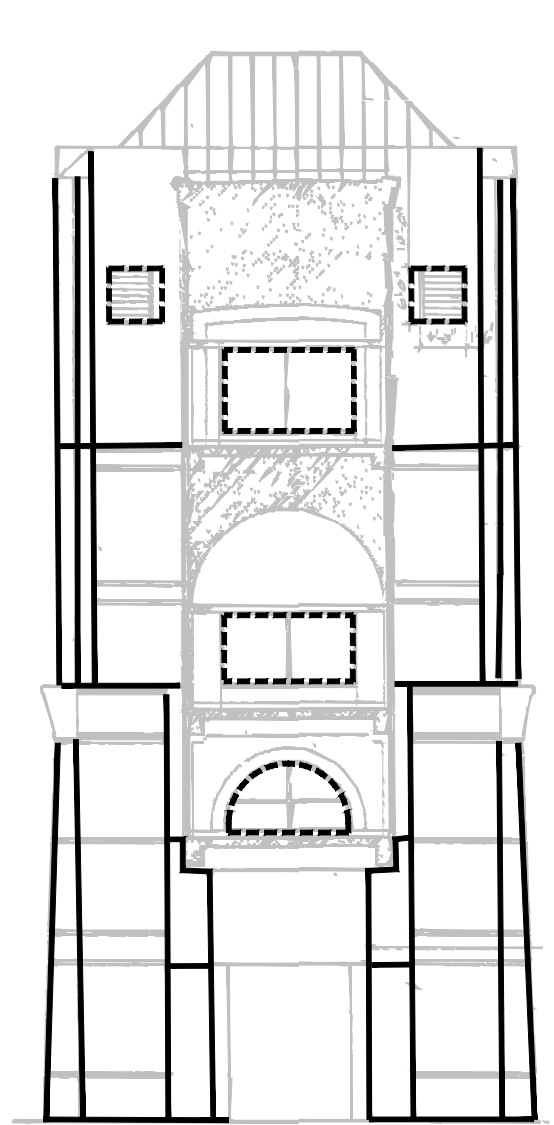
SIDE ELEVATION OF STADIUM
CLUB ENTRY - GATE 2



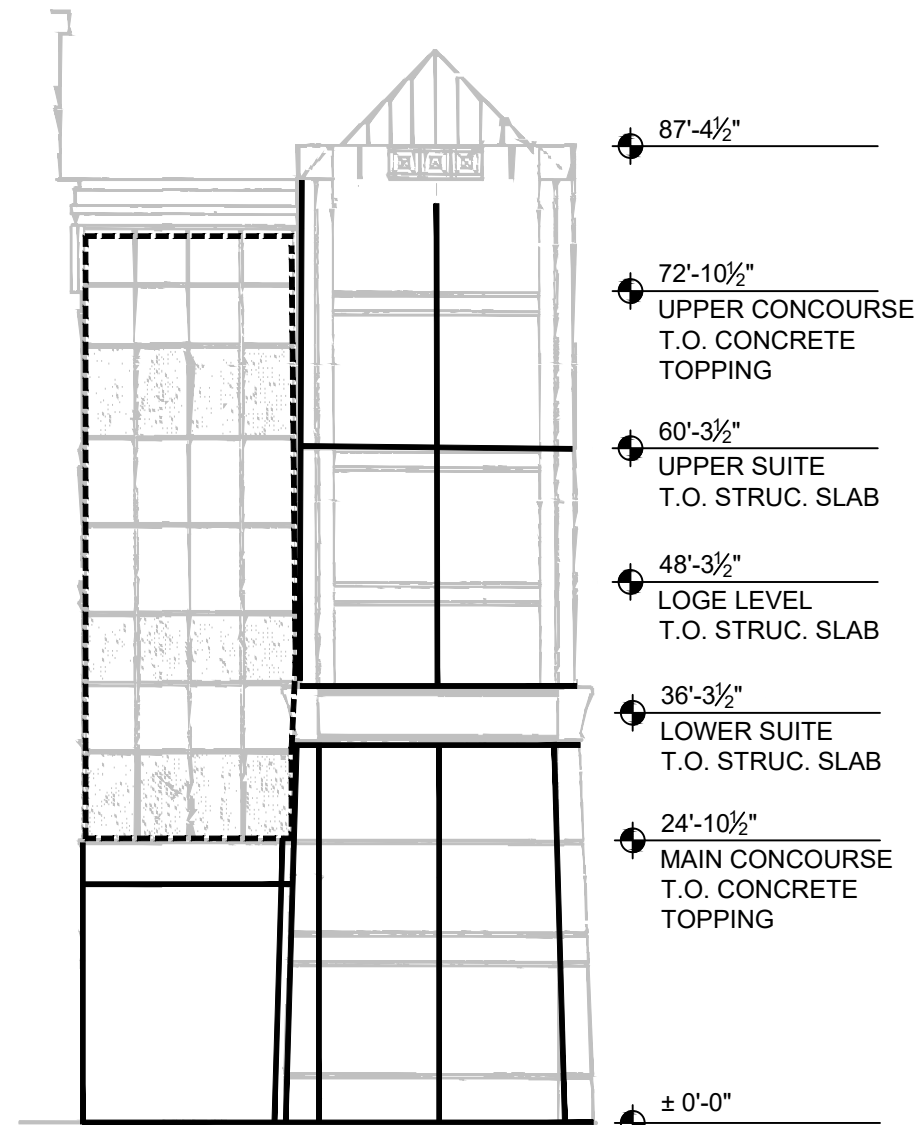
SIDE ELEVATION OF STADIUM
ENTRY TOWER - GATE 4



FRONT ELEVATION OF STADIUM
ENTRY TOWER - GATE 4



REAR ELEVATION OF STADIUM
ENTRY TOWER - GATE 4



SIDE ELEVATION OF STADIUM
ENTRY TOWER - GATE 4

1 GATE 2 AND GATE 4 TOWER FACADE ELEVATIONS
NOT TO SCALE

LEGEND:

	ARCHITECTURAL PRECAST PANEL SPALL (SEE REPAIR DETAIL 1/S-502)		INDICATES PRECAST TO PRECAST SEALANT JOINT TO BE REMOVED AND REPLACED. SEE SHEET S-502 FOR ADDITIONAL INFORMATION.
	EXPOSED REINFORCING STEEL BAR END. DRILL BACK BAR END, CLEAN AND PAINT, AND INSTALL SEALANT.		INDICATES EXPANSION JOINT TO BE REMOVED AND REPLACED. SEE SHEET S-502 FOR ADDITIONAL INFORMATION.
	REMOVE AND REPLACE SPALLED CMU (SEE REPAIR DETAIL 5/S-503)		INDICATES PRECAST TO WINDOW / LOUVER SEALANT JOINT TO BE REMOVED AND REPLACED. SEE SHEET S-502 FOR ADDITIONAL INFORMATION.



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PRELIMINARY

Project
FY2023-FY2025
Facade Restoration at
Guaranteed Rate Field
333 West 35th Street
Chicago, Illinois 60616

Client
Illinois Sports Facilities
Authority
333 West 35th Street
Chicago, Illinois 60616

Mark	Date	Description



THIS SHEET PLOTS FULL SIZE
AT 1/8"=1'-0" (1/8"=1'-0")

Project No. 2021.4701
Date 8/17/2022
Drawn AHD
Checked BRG
Scale As Noted

Gate 2 and Gate 4 Tower
Facade Elevations

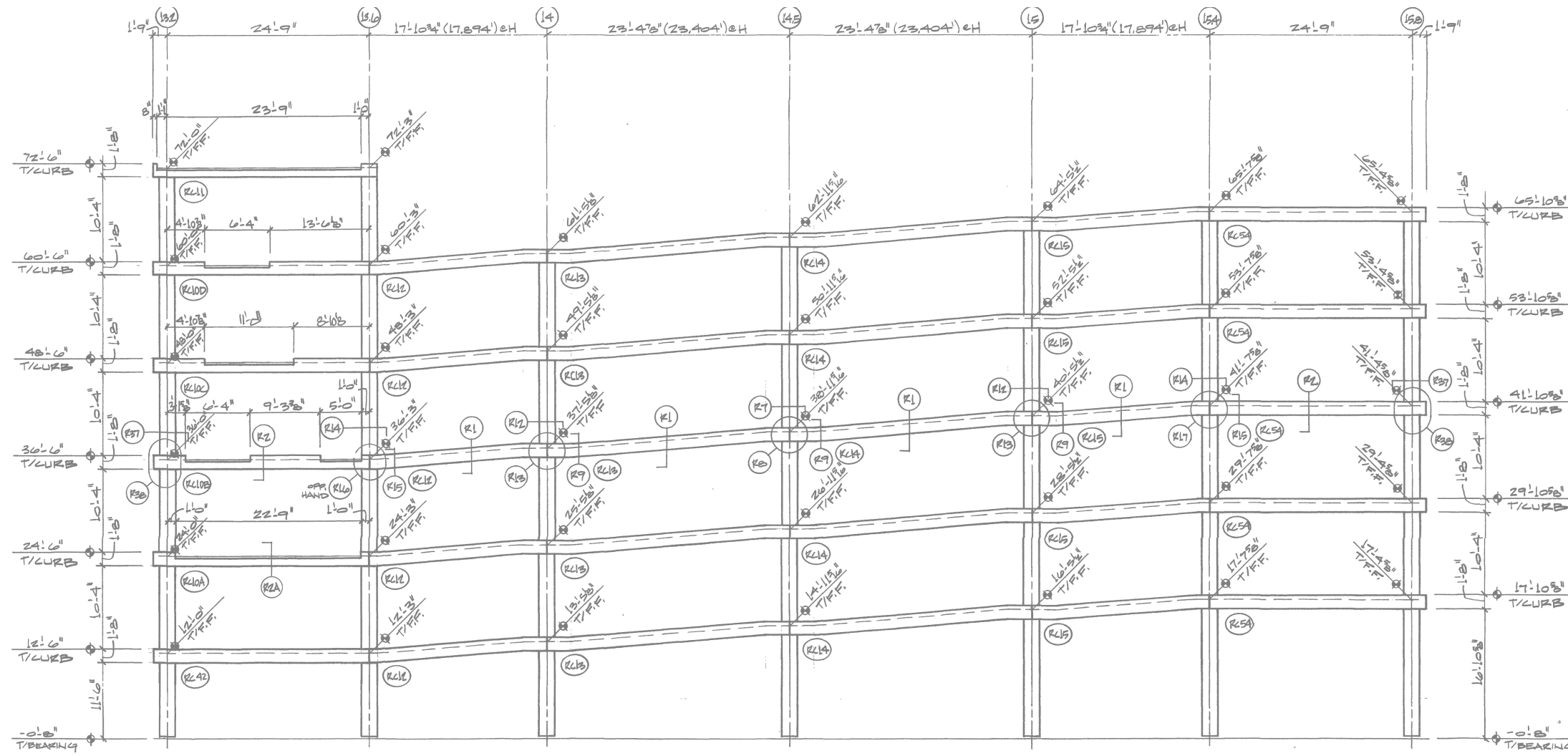
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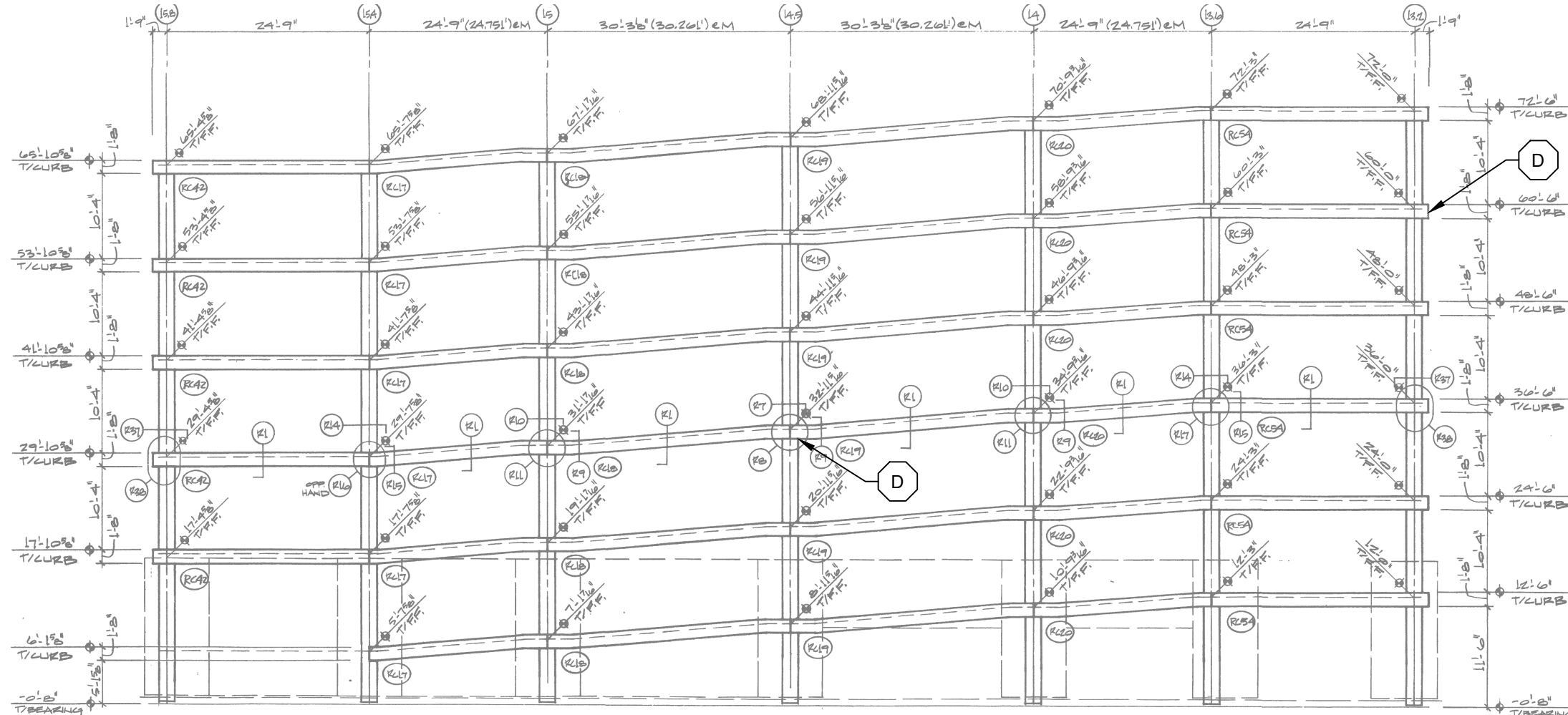
S-207

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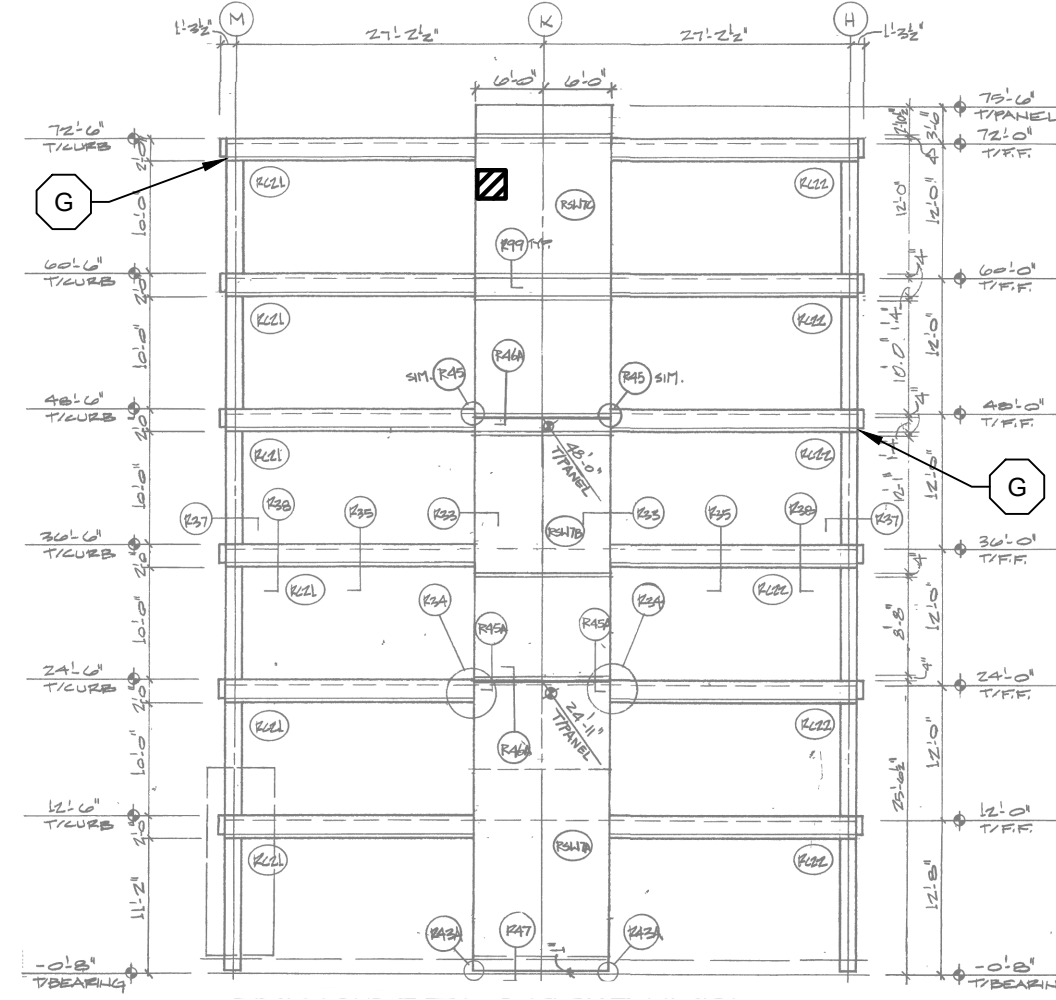
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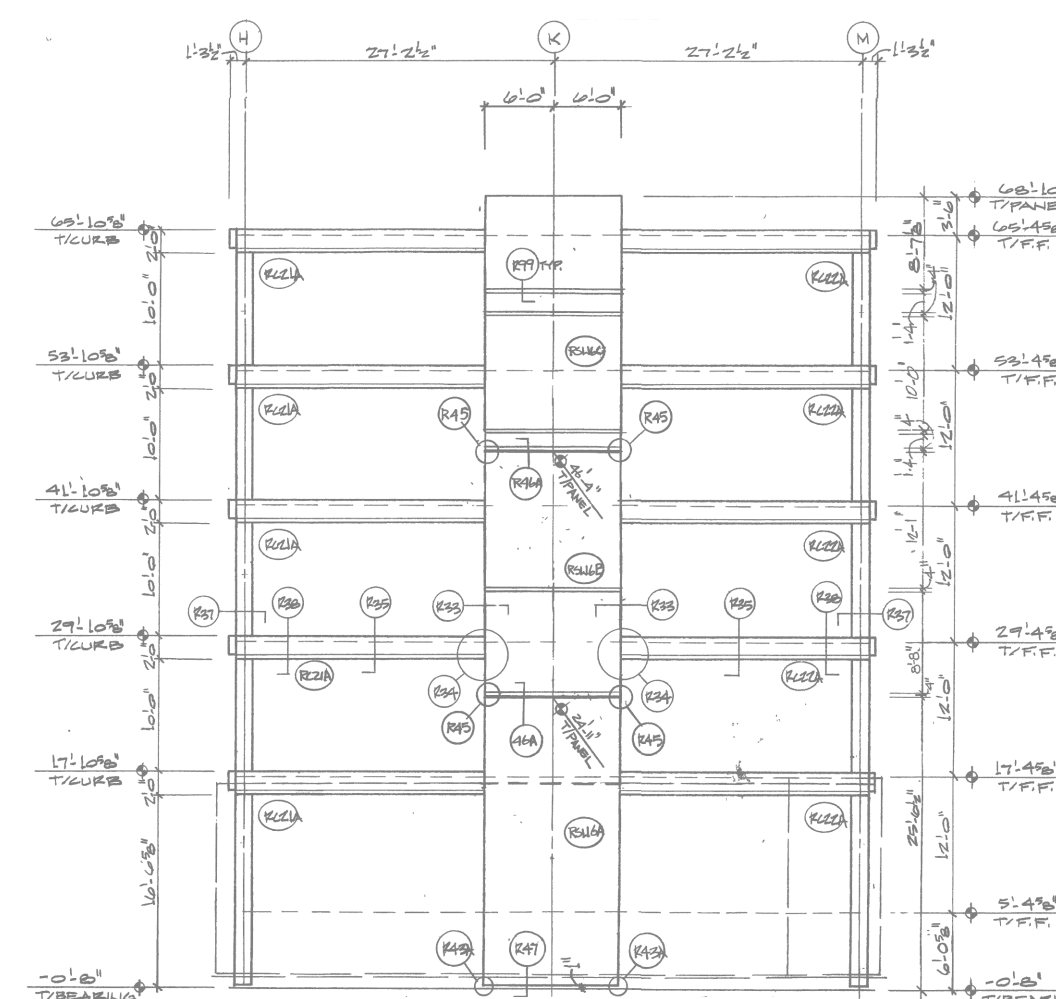
1 RAMP 1 - NORTHEAST ELEVATION
NOT TO SCALE



3 RAMP 1 - SOUTHWEST ELEVATION
NOT TO SCALE



2 RAMP 1 - SOUTHEAST ELEVATION
NOT TO SCALE



4 RAMP 1 - NORTHWEST ELEVATION
NOT TO SCALE

LEGEND:

- | | | |
|---|---|--|
| (A) SPANDREL SPALL AT EMBEDDED CONNECTION (SEE REPAIR DETAIL 1/S-501) | (D) BEAM END SPALL AT EXPOSED PRESTRESSING STRANDS (SEE REPAIR DETAIL 4/S-501) | (G) SPANDREL END SPALL AT EXPOSED PRESTRESSING STRANDS (SEE REPAIR DETAIL 6/S-503) |
| (B) SPALLLED OR DELAMINATED MORTAR PATCH (SEE REPAIR DETAIL 2/S-501) | (E) CRACKED WELD AT PRECAST WALL PANEL CONNECTION (SEE REPAIR DETAIL 5/S-501) | (H) ARCHITECTURAL PRECAST PANEL SPALL (SEE REPAIR DETAIL 1/S-502) |
| (C) SPANDREL SPALL AT RAILING EMBED (SEE REPAIR DETAIL 3/S-501) | (F) CLEAN AND PAINT EXPOSED CONNECTION ADJACENT TO COLUMN SPALL (SEE REPAIR DETAIL 6/S-501) | |



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PRELIMINARY

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Project No.	2021.4701
Date	8/17/2022
Drawn	AHD
Checked	BRG
Scale	As Noted

Sheet Title

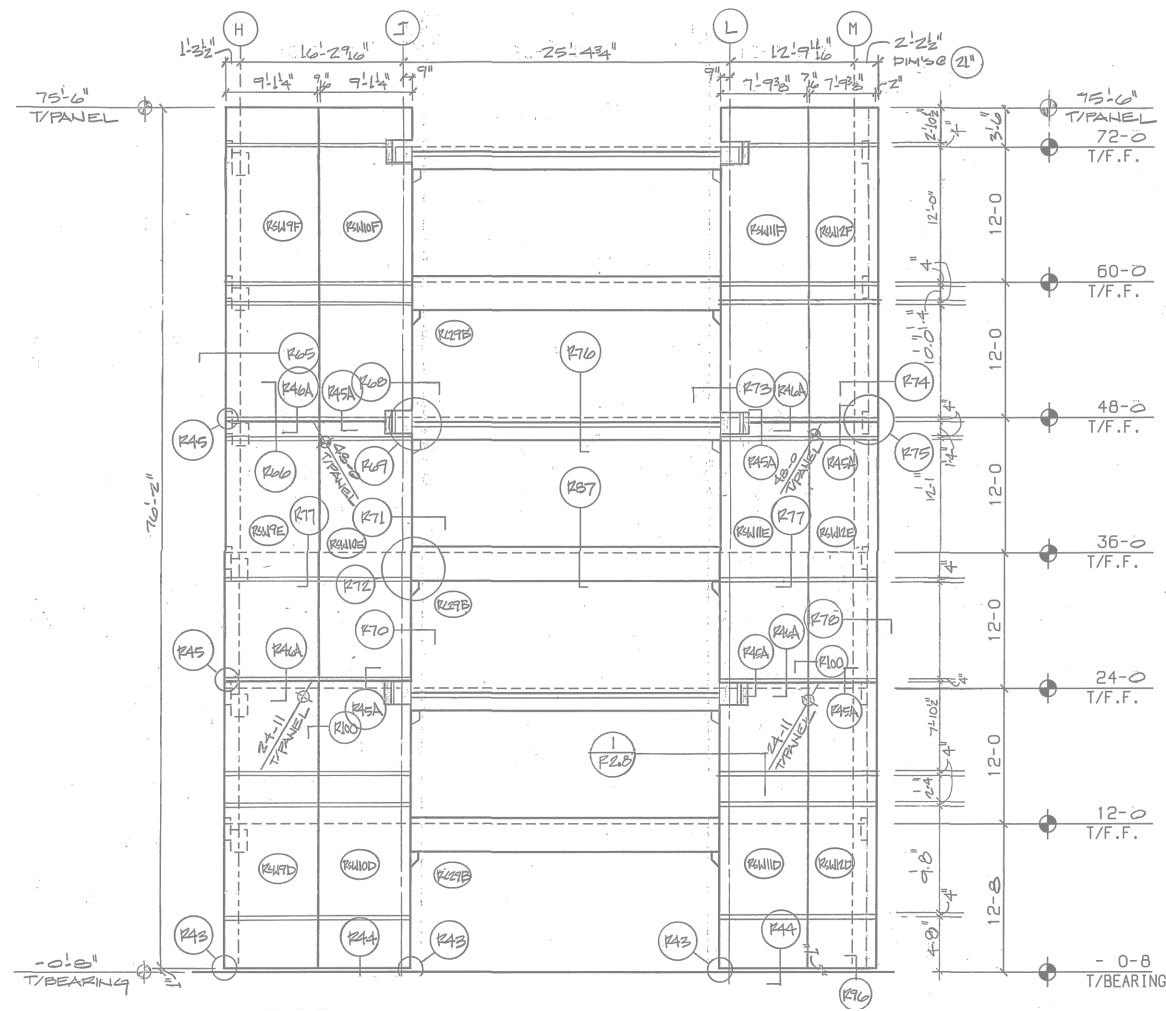
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Ramp 1 Elevations

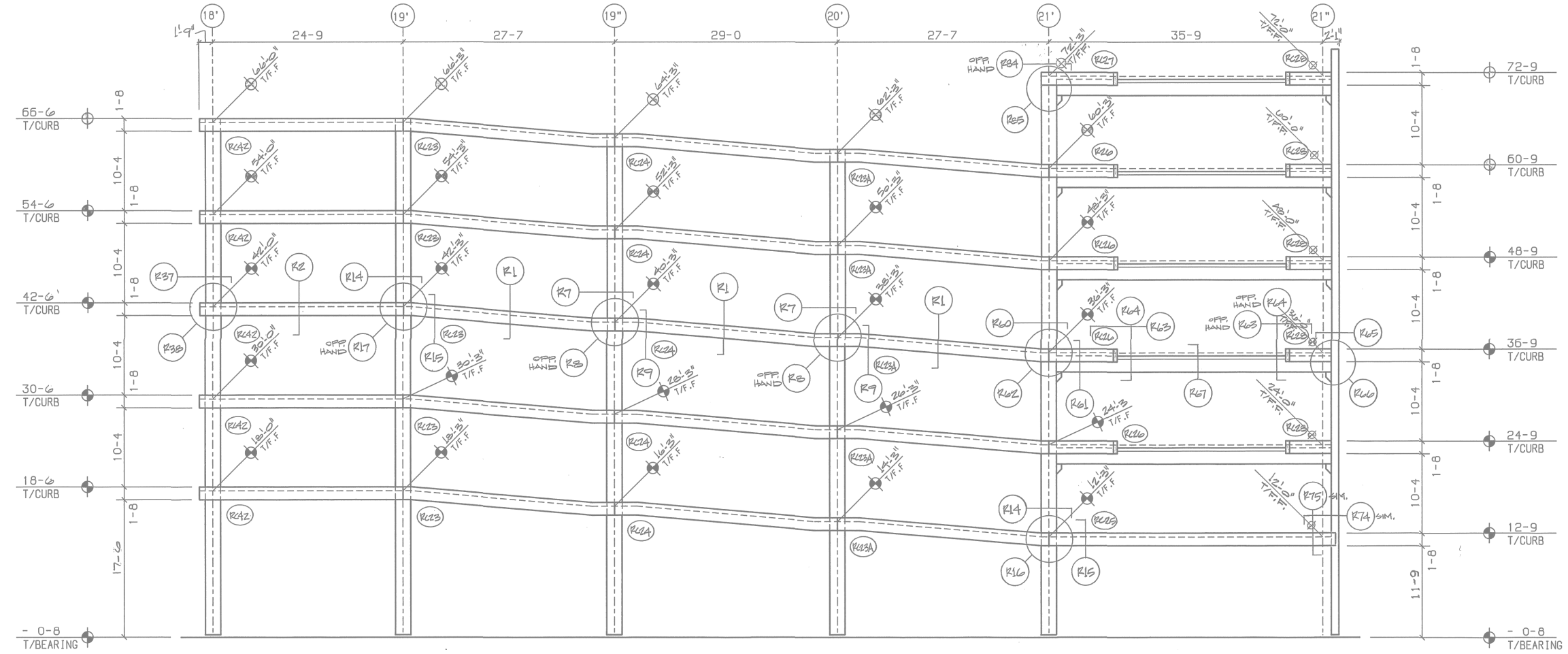
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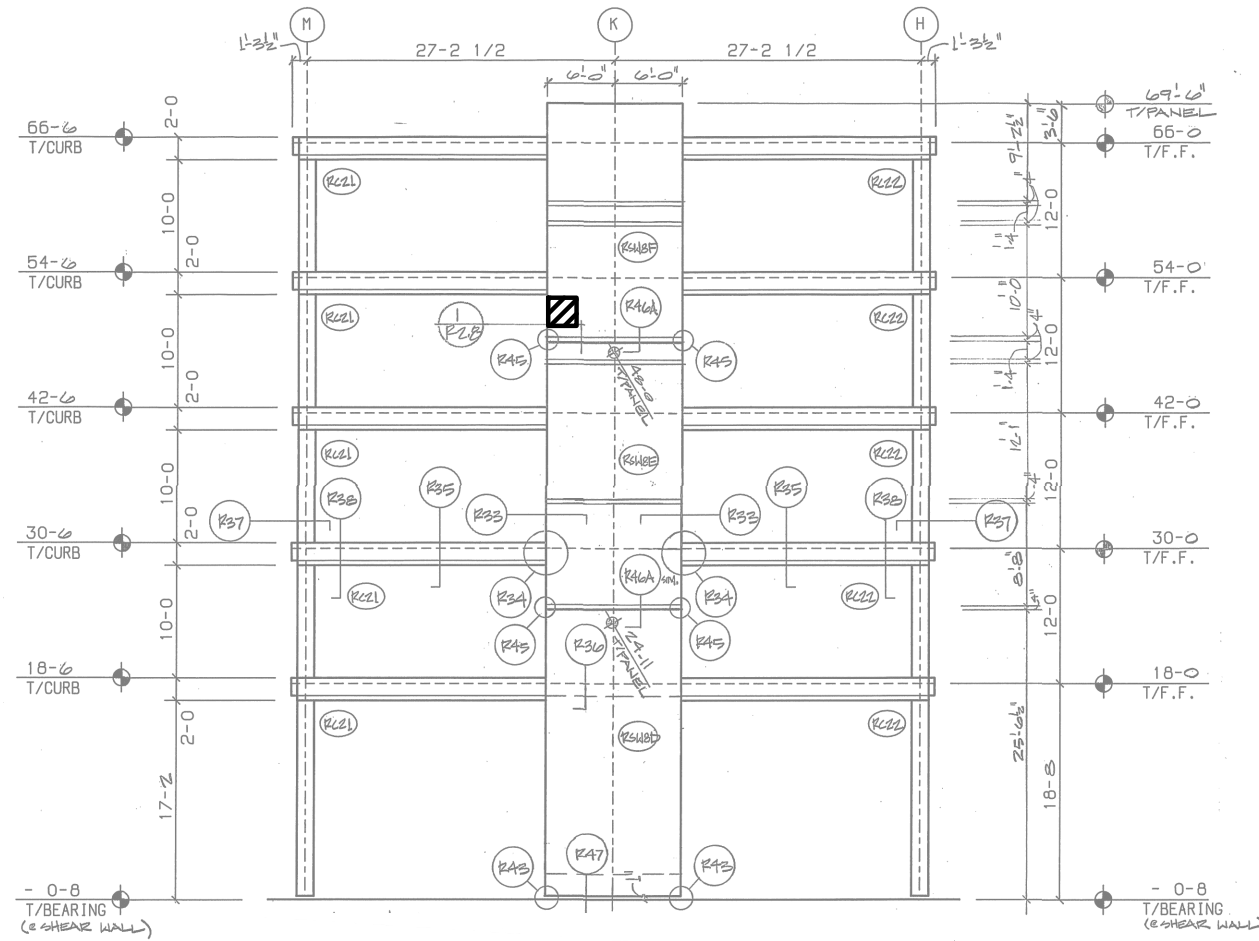
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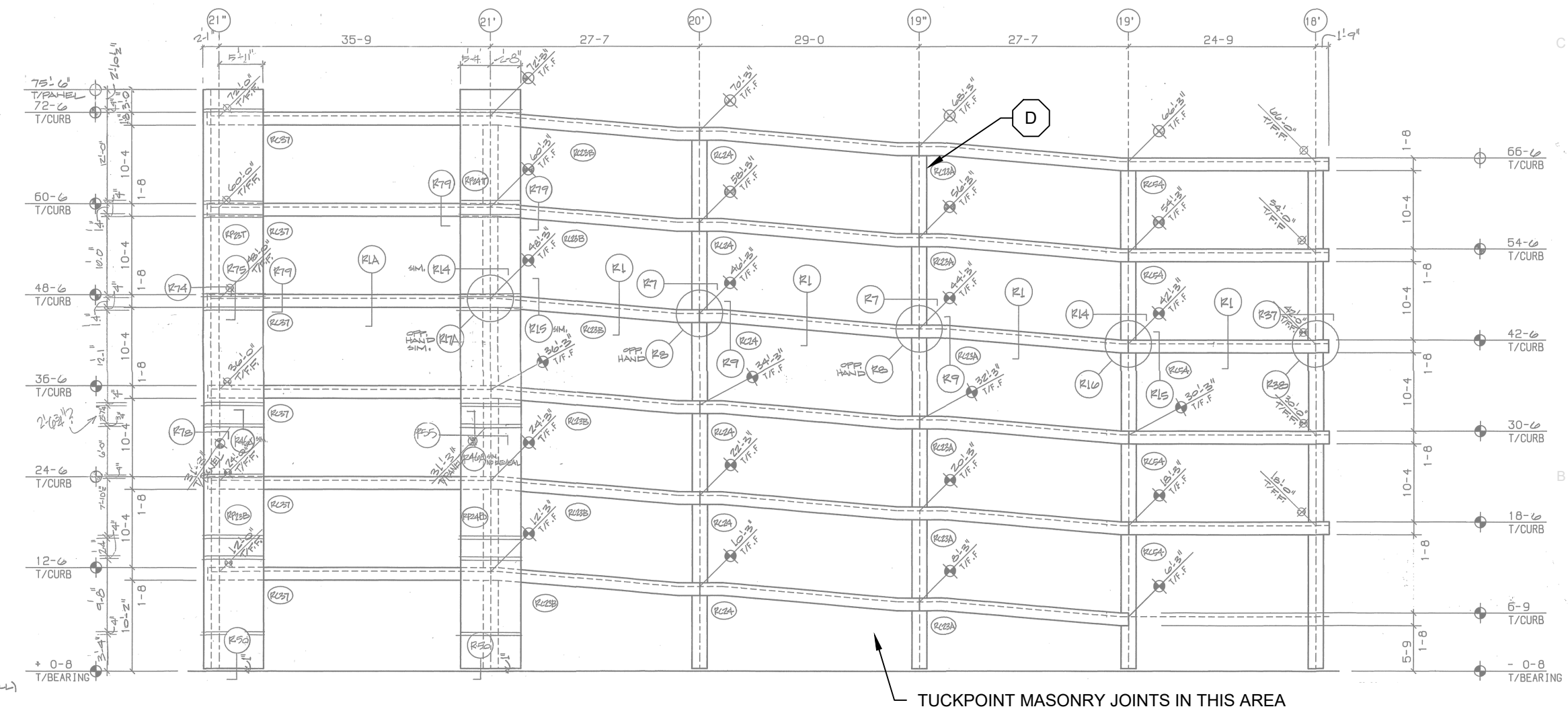
1 RAMP 2 - NORTH ELEVATION
NOT TO SCALE



2 RAMP 2 - EAST ELEVATION
NOT TO SCALE



3 RAMP 2 - SOUTH ELEVATION
NOT TO SCALE



4 RAMP 2 - WEST ELEVATION
NOT TO SCALE

LEGEND:

- (A) SPANDREL SPALL AT EMBEDDED CONNECTION (SEE REPAIR DETAIL 1/S-501)
- (B) SPALLLED OR DELAMINATED MORTAR PATCH (SEE REPAIR DETAIL 2/S-501)
- (C) SPANDREL SPALL AT RAILING EMBED (SEE REPAIR DETAIL 3/S-501)

- (D) BEAM END SPALL AT EXPOSED PRESTRESSING STRANDS (SEE REPAIR DETAIL 4/S-501)
- (E) CRACKED WELD AT PRECAST WALL CONNECTION (SEE REPAIR DETAIL 5/S-501)
- (F) CLEAN AND PAINT EXPOSED CONNECTION ADJACENT TO COLUMN SPALL (SEE REPAIR DETAIL 6/S-501)

- (G) SPANDREL END SPALL AT EXPOSED PRESTRESSING STRANDS (SEE REPAIR DETAIL 6/S-503)
- (H) ARCHITECTURAL PRECAST PANEL SPALL (SEE REPAIR DETAIL 1/S-502)

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AT 18x24 (INCHES)

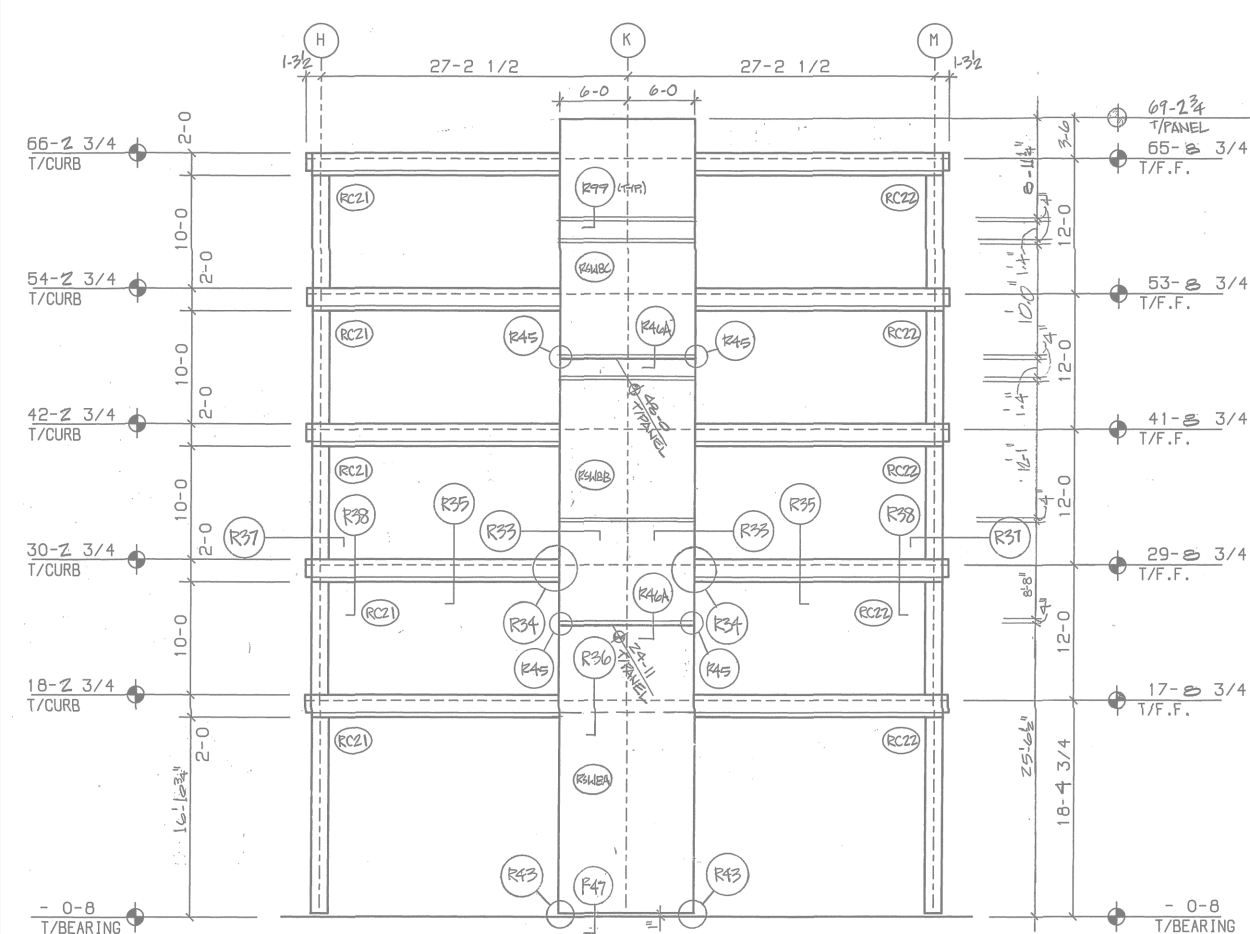
Project No. 2021.4701
Date 8/17/2022
Drawn AHD
Checked BRG
Scale As Noted

Ramp 2 Elevations

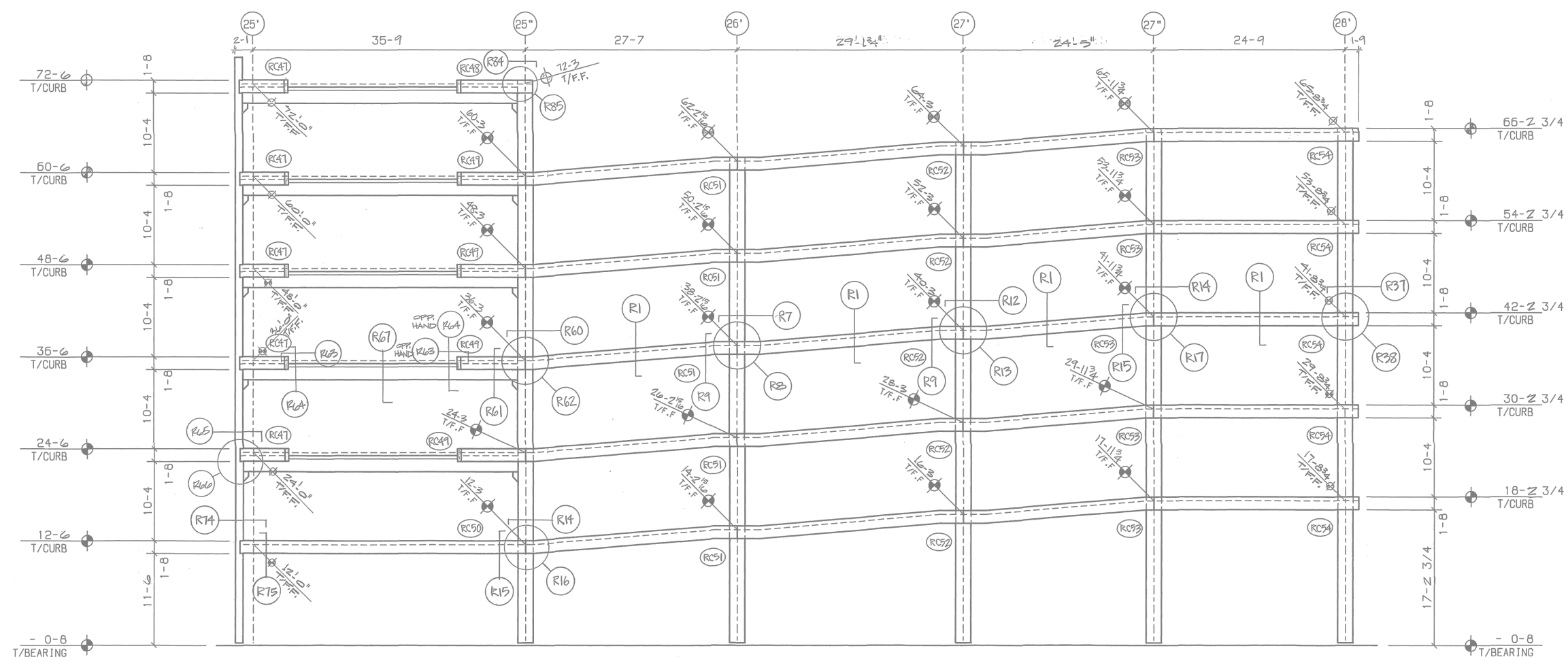
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Sheet No.

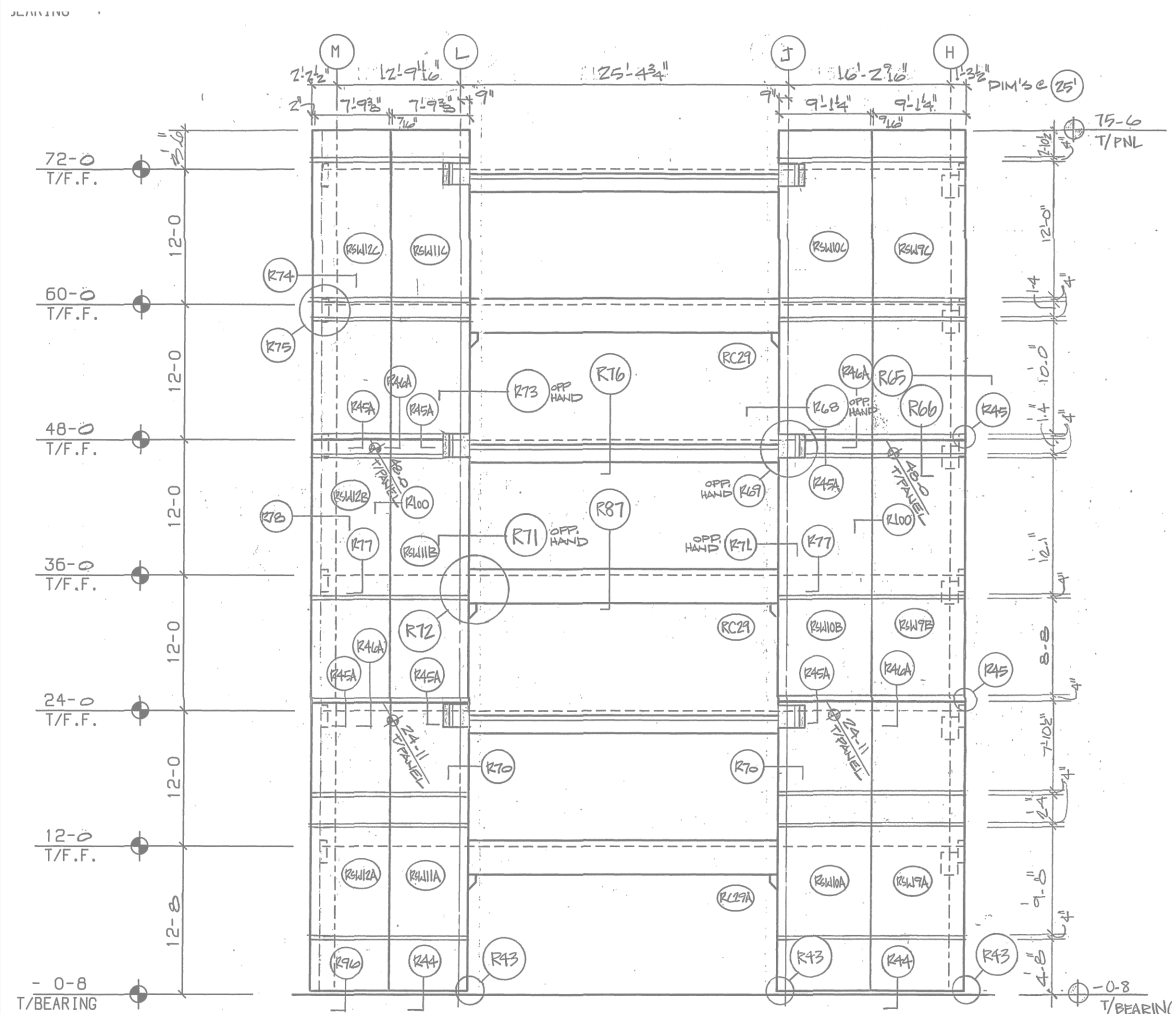
S-209



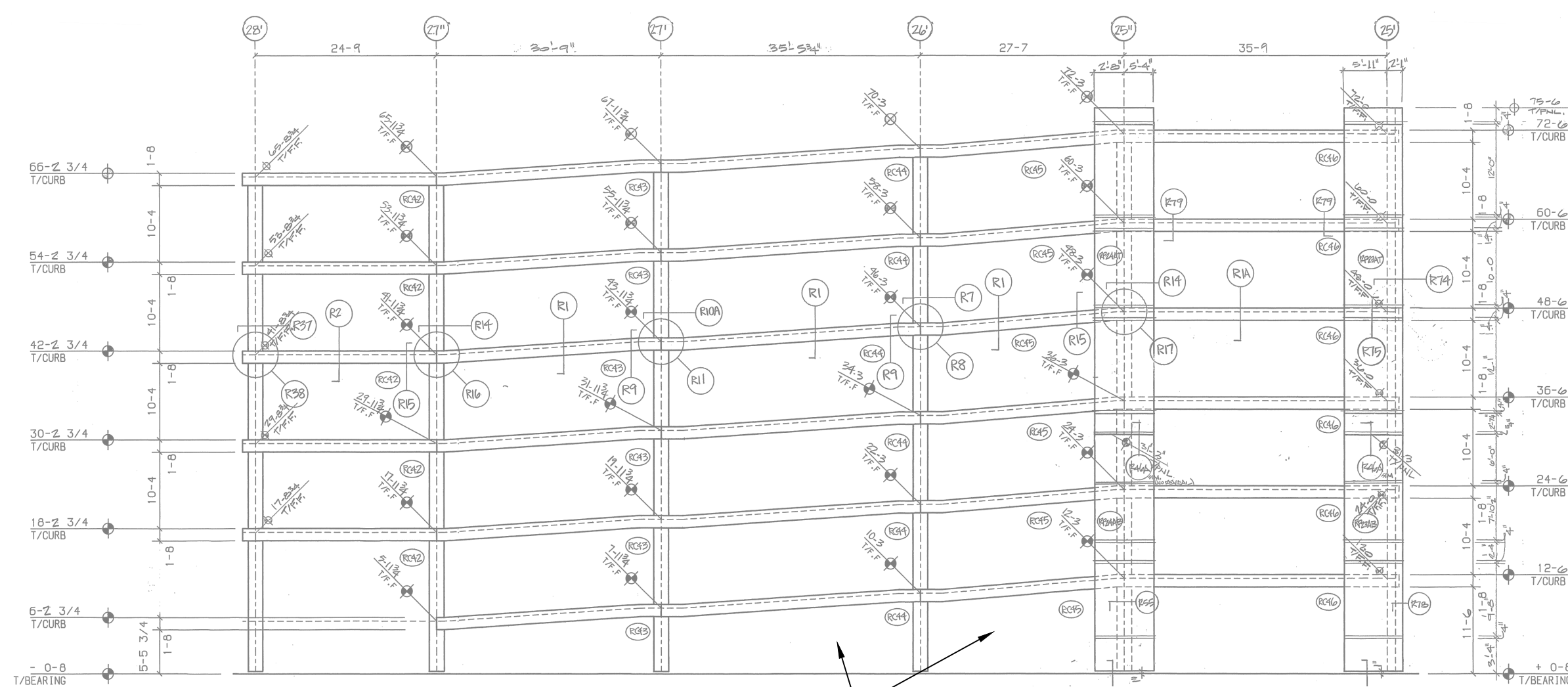
1 RAMP 3 - NORTH ELEVATION



2 RAMP 3 - EAST ELEVATION











3 RAMP 3 - SOUTH ELEVATION



4 RAMP 3 - WEST ELEVATION

- TUCKPOINT MASONRY JOINTS AROUND TICKET WINDOWS

LEGEND:

- | | | | | | |
|---|---|---|---|---|--|
|  | SPANDREL SPALL AT EMBEDDED CONNECTION (SEE REPAIR DETAIL 1/S-501) |  | BEAM END SPALL AT EXPOSED PRESTRESSING STRANDS (SEE REPAIR DETAIL 4/S-501) |  | SPANDREL END SPALL AT EXPOSED PRESTRESSING STRANDS (SEE REPAIR DETAIL 6/S-503) |
|  | SPALLLED OR DELAMINATED MORTAR PATCH (SEE REPAIR DETAIL 2/S-501) |  | CRACKED WELD AT PRECAST WALL PANEL CONNECTION (SEE REPAIR DETAIL 5/S-501) |  | ARCHITECTURAL PRECAST PANEL SPALL (SEE REPAIR DETAIL 1/S-502) |
|  | SPANDREL SPALL AT RAILING EMBED (SEE REPAIR DETAIL 3/S-501) |  | CLEAN AND PAINT EXPOSED CONNECTION ADJACENT TO COLUMN SPALL (SEE REPAIR DETAIL 6/S-501) | | |



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PRELIMINARY

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Project No.	2021.4701
Date	8/17/2022
Drawn	AHD
Checked	BRG
Scale	As Noted

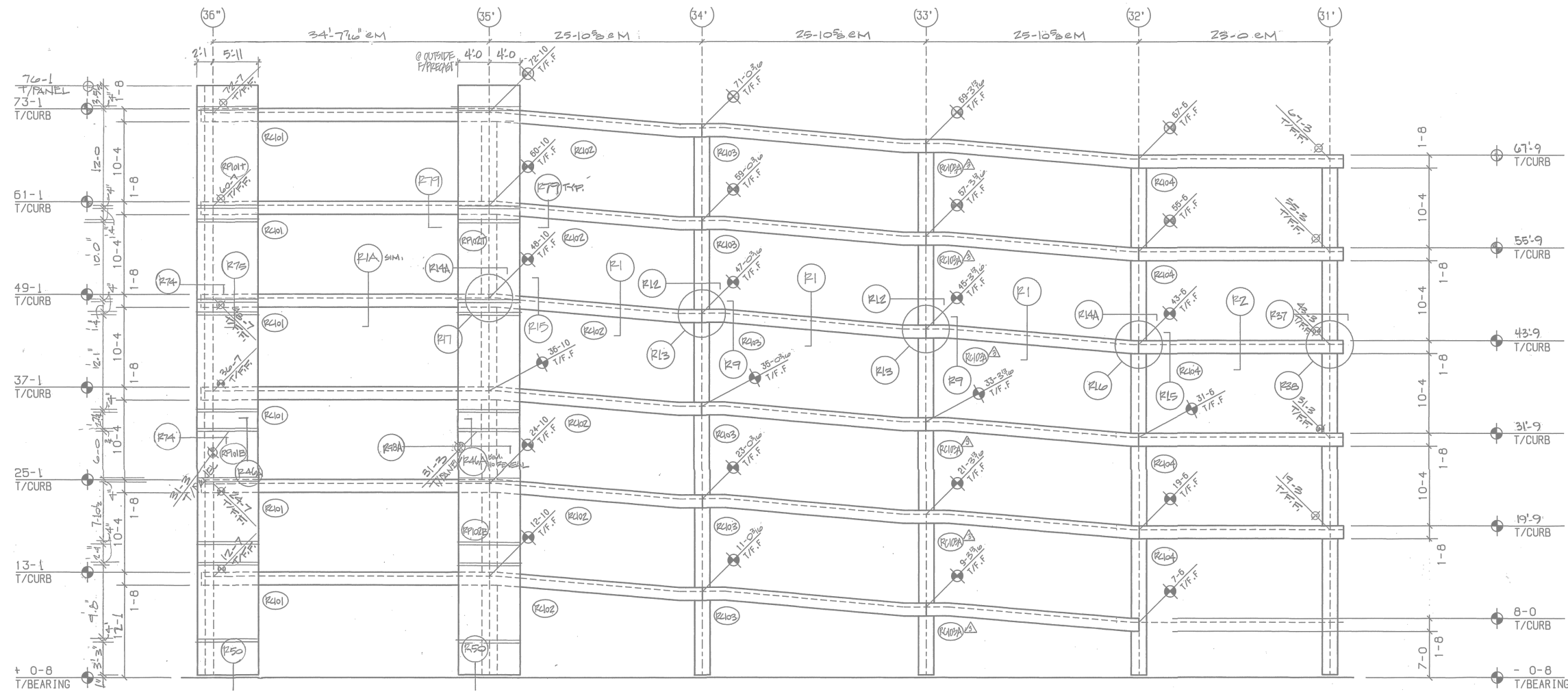
Ramp 3 Elevations

Sheet Title

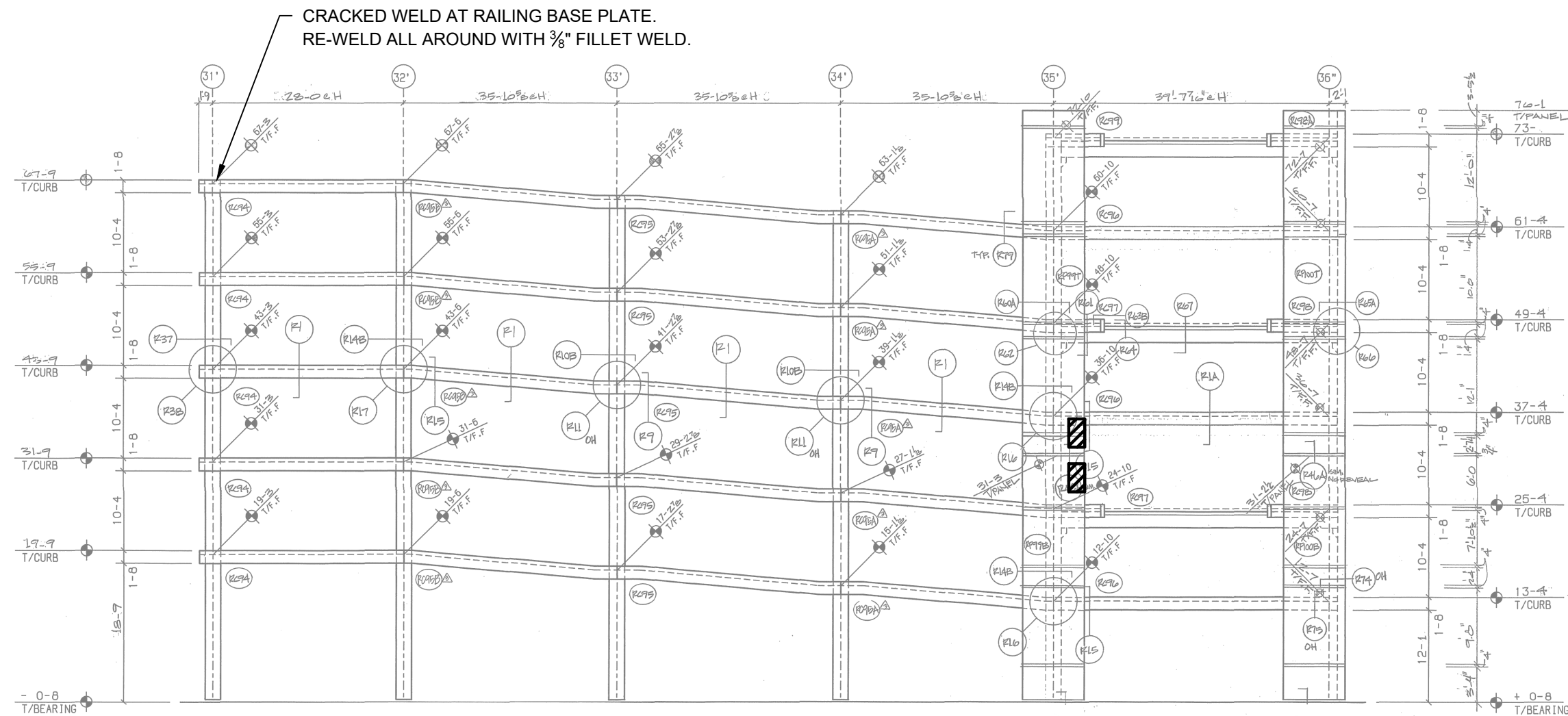
S-210

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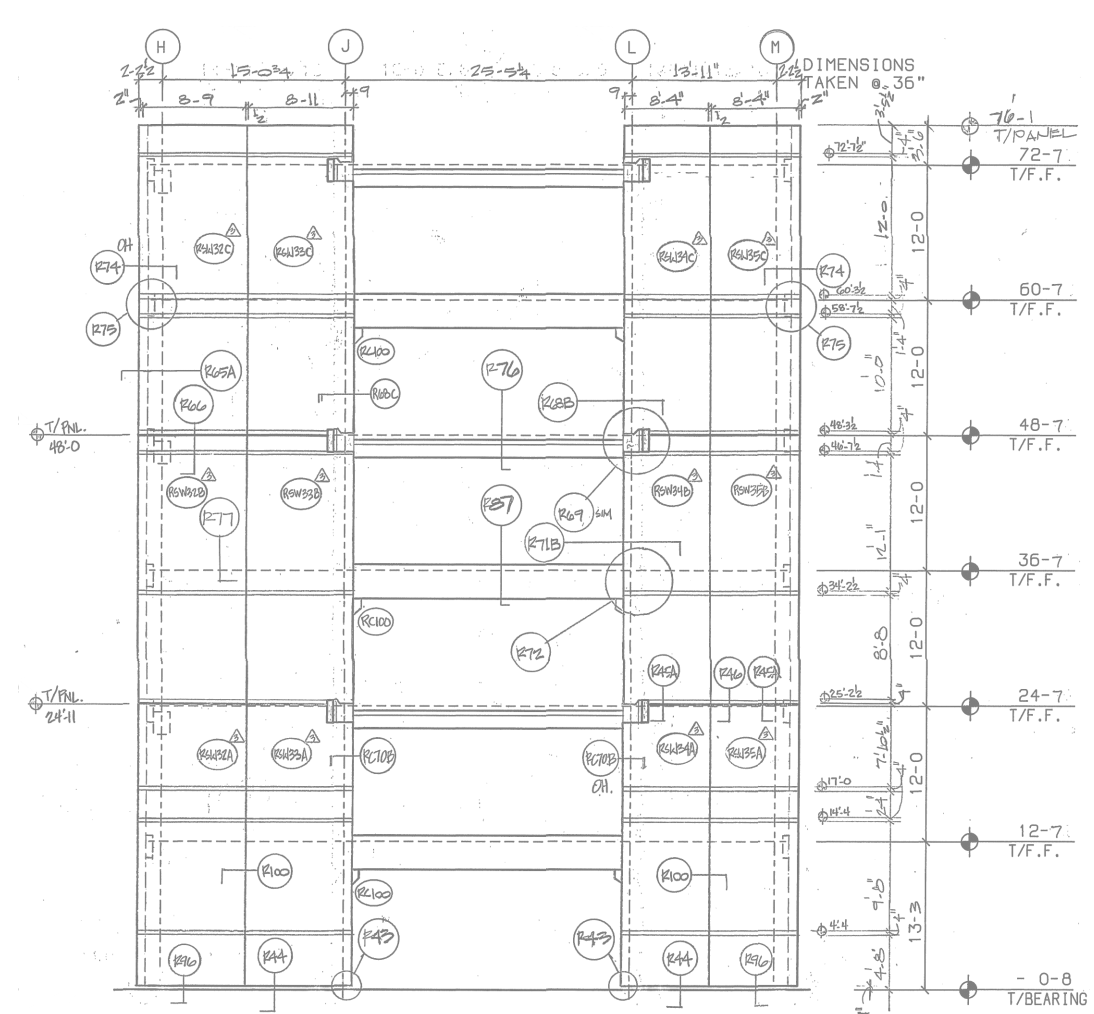
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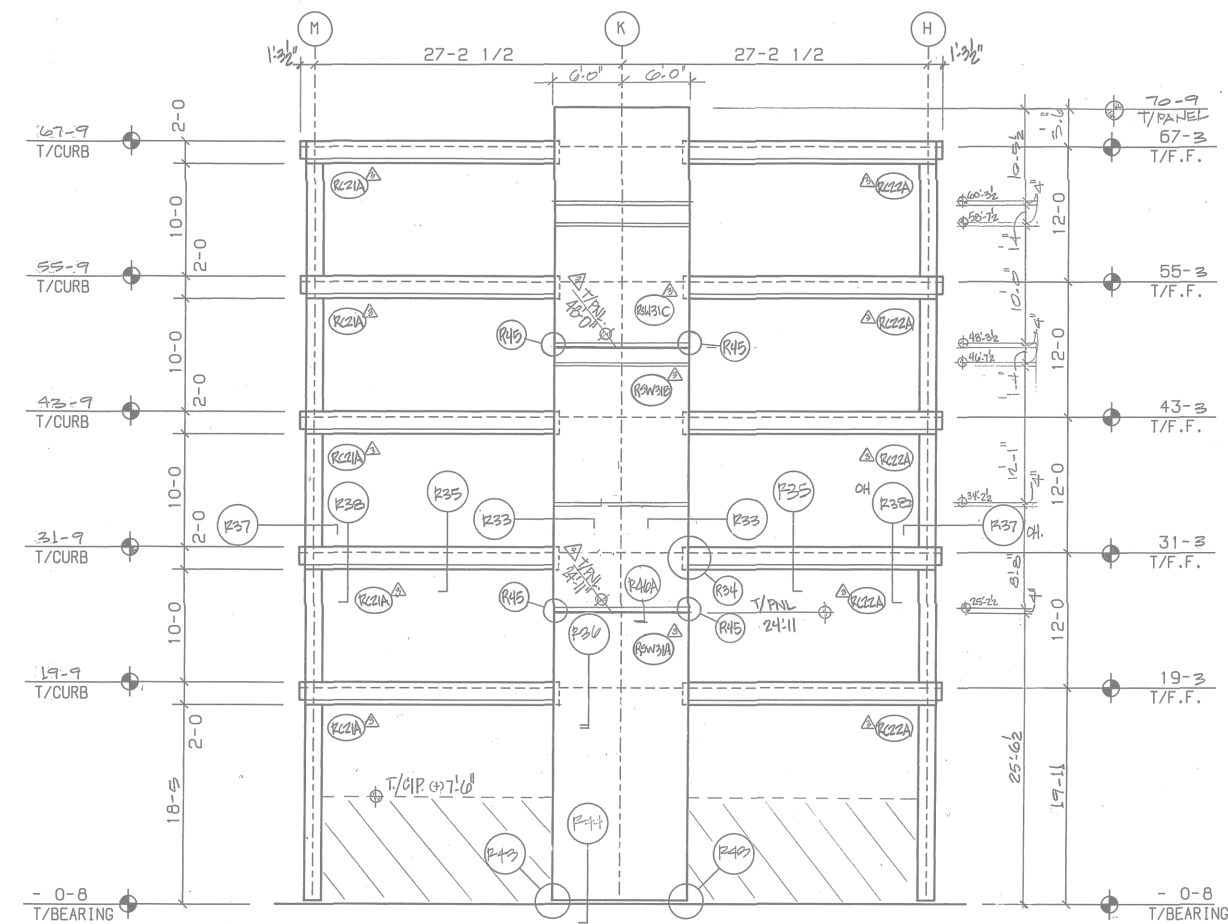
1 RAMP 4 - NORTH ELEVATION
NOT TO SCALE



3 RAMP 4 - SOUTH ELEVATION
NOT TO SCALE



2 RAMP 4 - EAST ELEVATION
NOT TO SCALE



4 RAMP 4 - WEST ELEVATION
NOT TO SCALE

LEGEND:

- (A) SPANDREL SPALL AT EMBEDDED CONNECTION (SEE REPAIR DETAIL 1/S-501)
- (B) SPALLLED OR DELAMINATED MORTAR PATCH (SEE REPAIR DETAIL 2/S-501)
- (C) SPANDREL SPALL AT RAILING EMBED (SEE REPAIR DETAIL 3/S-501)

- (D) BEAM END SPALL AT EXPOSED PRESTRESSING STRANDS (SEE REPAIR DETAIL 4/S-501)
- (E) CRACKED WELD AT PRECAST WALL CONNECTION (SEE REPAIR DETAIL 5/S-501)
- (F) CLEAN AND PAINT EXPOSED CONNECTION ADJACENT TO COLUMN SPALL (SEE REPAIR DETAIL 6/S-501)

- (G) SPANDREL END SPALL AT EXPOSED PRESTRESSING STRANDS (SEE REPAIR DETAIL 6/S-503)
- (H) ARCHITECTURAL PRECAST PANEL SPALL (SEE REPAIR DETAIL 1/S-502)



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PRELIMINARY

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FY2023-FY2025
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Chicago, Illinois 60616

Client

Illinois Sports Facilities
Authority
333 West 35th Street
Chicago, Illinois 60616

Mark	Date	Description
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Project No. 2021.4701
Date 8/17/2022
Drawn AHD
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Scale As Noted

Sheet Title

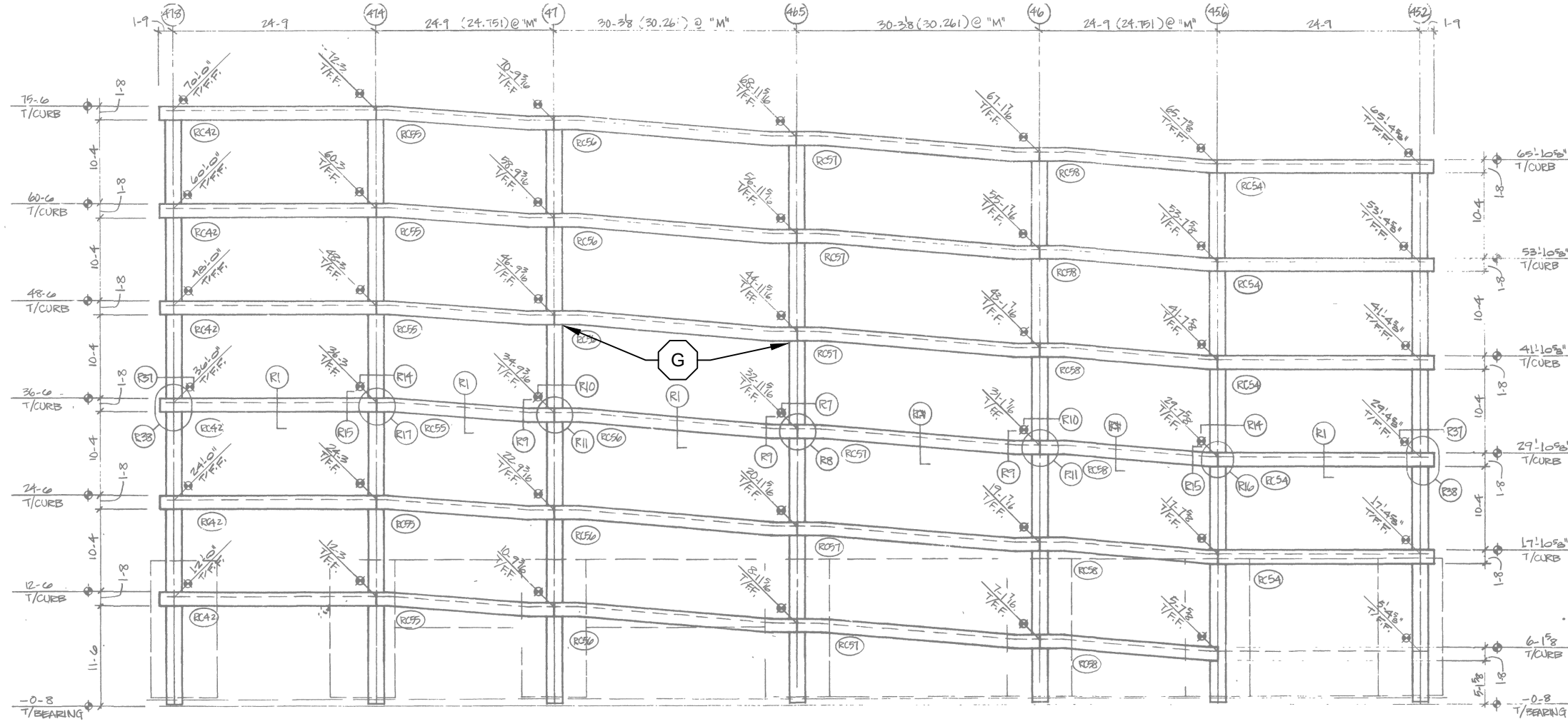
Sheet No.

Ramp 4 Elevations

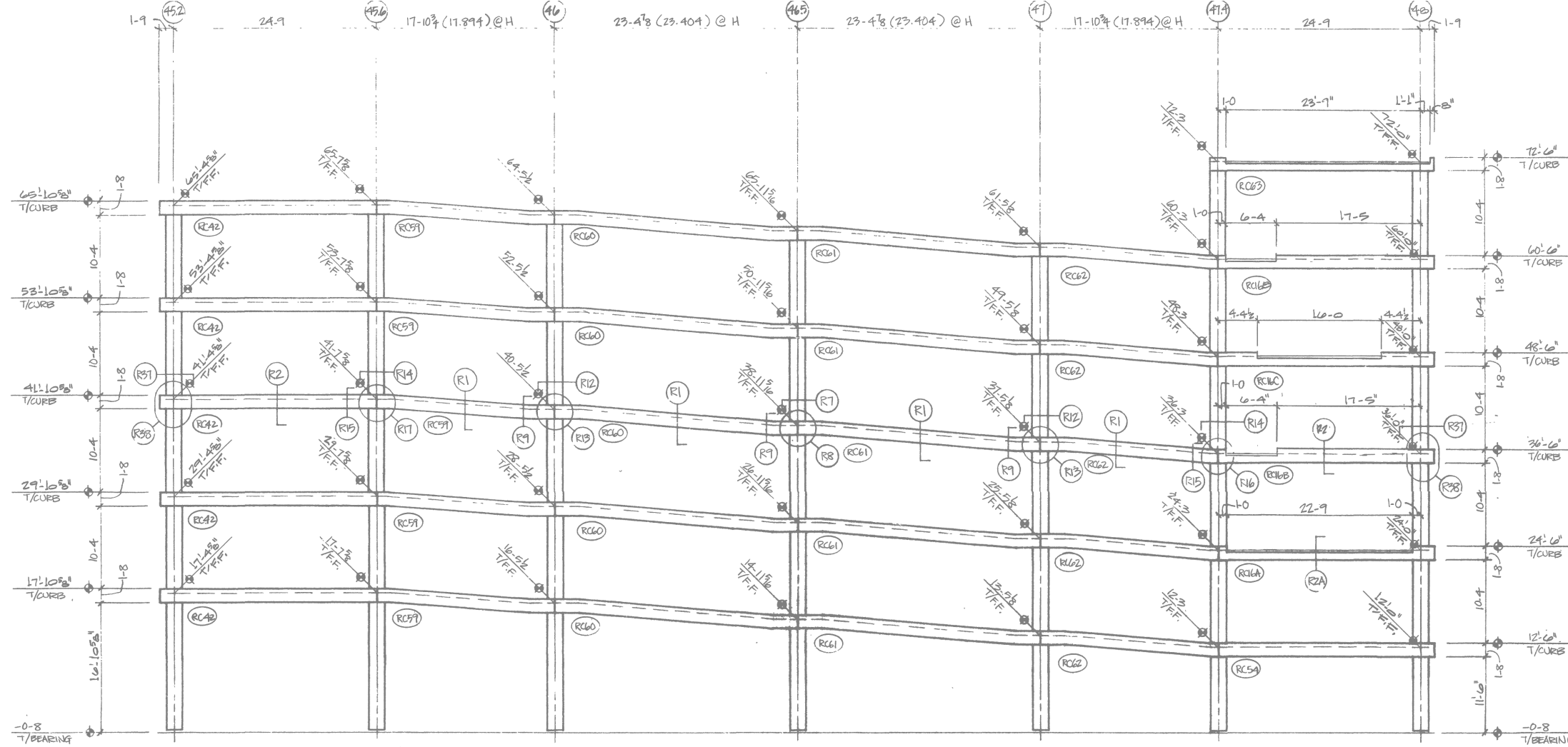
S-211

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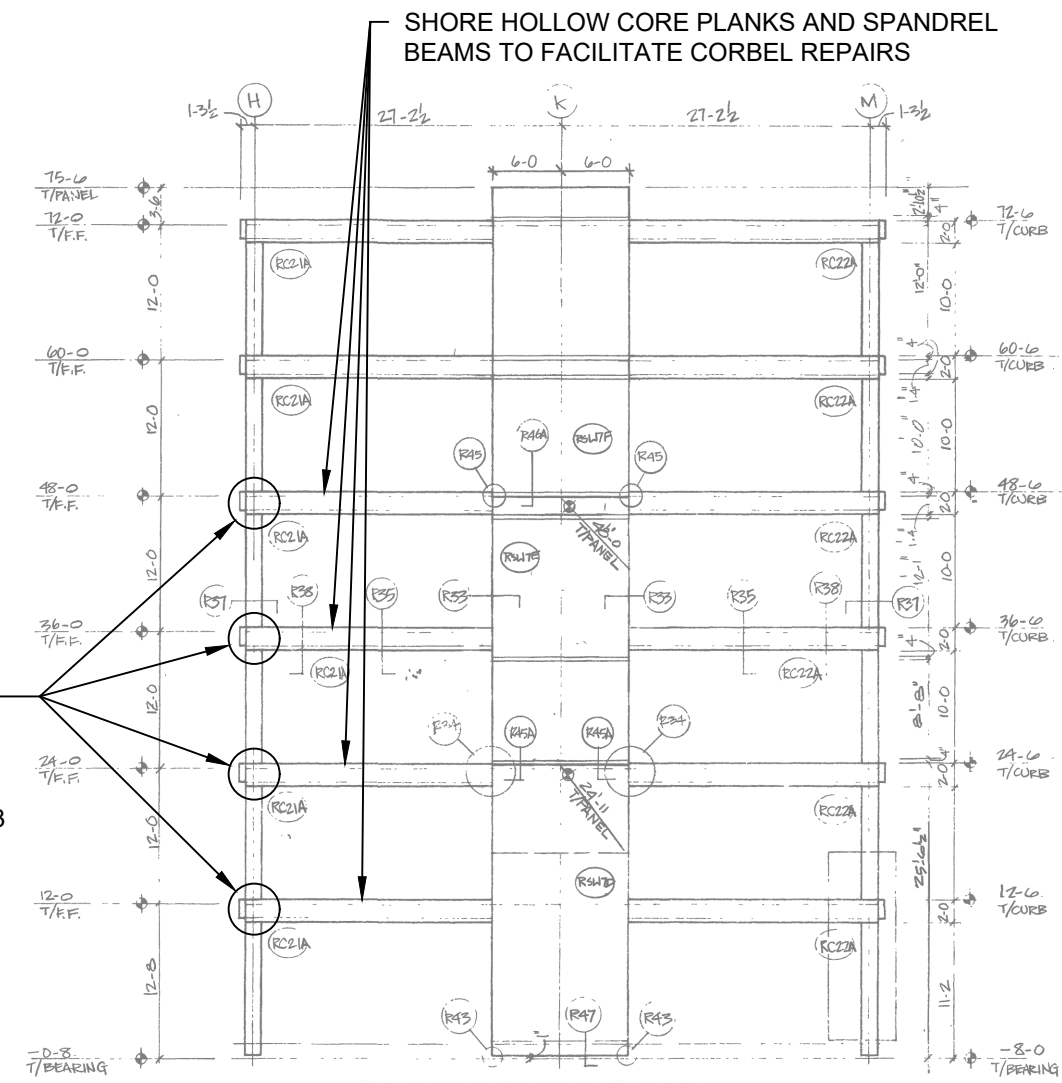
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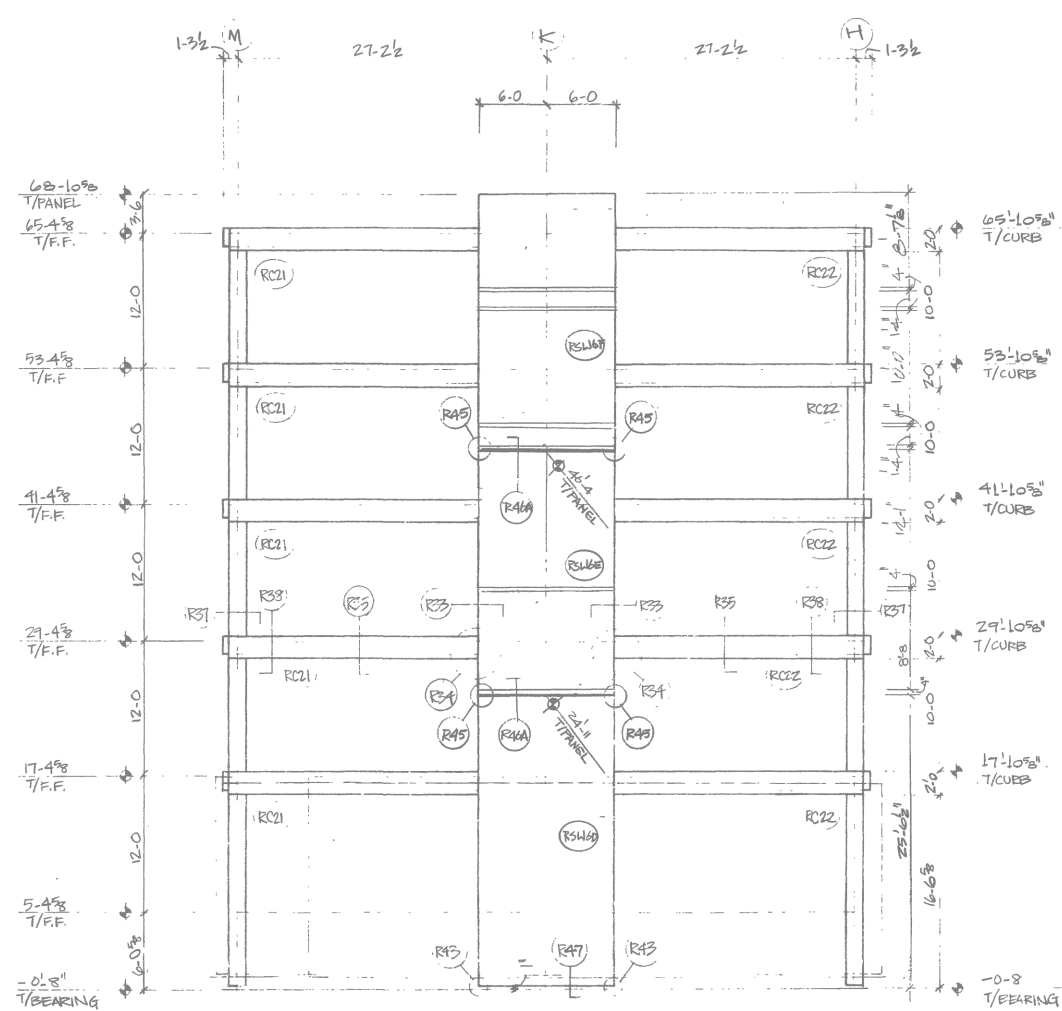
1 RAMP 6 - NORTHEAST ELEVATION
NOT TO SCALE



3 RAMP 6 - SOUTHWEST ELEVATION
NOT TO SCALE



2 RAMP 6 - SOUTHEAST ELEVATION
NOT TO SCALE



4 RAMP 6 - NORTHWEST ELEVATION
NOT TO SCALE

LEGEND:

- | | | |
|--|--|---|
| A SPANDREL SPALL AT EMBEDDED CONNECTION (SEE REPAIR DETAIL 1/S-501) | D BEAM END SPALL AT EXPOSED PRESTRESSING STRANDS (SEE REPAIR DETAIL 4/S-501) | G SPANDREL END SPALL AT EXPOSED PRESTRESSING STRANDS (SEE REPAIR DETAIL 6/S-503) |
| B SPALLLED OR DELAMINATED MORTAR PATCH (SEE REPAIR DETAIL 2/S-501) | E CRACKED WELD AT PRECAST WALL CONNECTION (SEE REPAIR DETAIL 5/S-501) | ▨ ARCHITECTURAL PRECAST PANEL SPALL (SEE REPAIR DETAIL 1/S-502) |
| C SPANDREL SPALL AT RAILING EMBED (SEE REPAIR DETAIL 3/S-501) | F CLEAN AND PAINT EXPOSED CONNECTION ADJACENT TO COLUMN SPALL (SEE REPAIR DETAIL 6/S-501) | |



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PRELIMINARY

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Chicago, Illinois 60616

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Chicago, Illinois 60616

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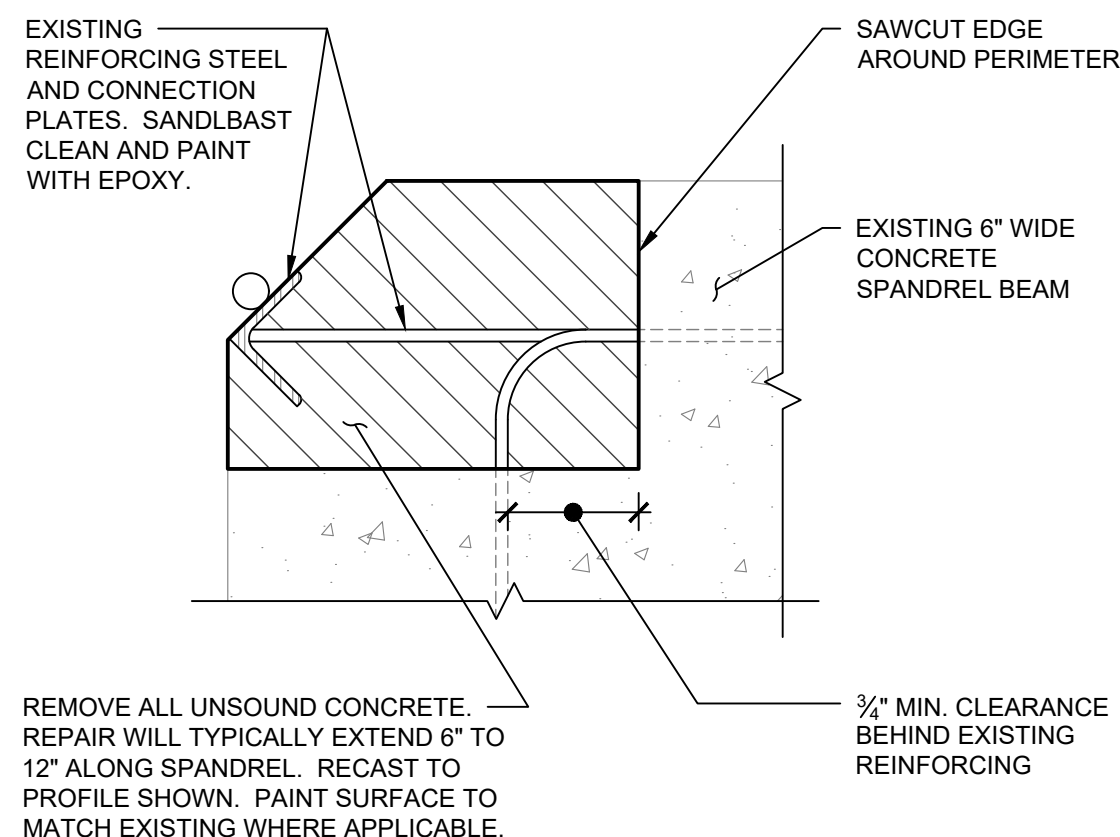
Project No.	2021.4701
Date	8/17/2022
Drawn	AHD
Checked	BRG
Scale	As Noted

Sheet Title

Ramp 6 Elevations

Sheet No.

S-212



GRIND 45 DEGREE, SMOOTH, BEVELED
EDGE ON EXISTING CONCRETE TO
REMAIN AROUND PERIMETER

CLEAN AND PAINT SURFACE OF
EXPOSED CONNECTION PLATES

REMOVE SPALLED AND DELAMINATED
EXISTING MORTAR TO EXPOSE
SURFACE OF CONNECTION PLATES

CLEAN AND PAINT SURFACE OF
EXPOSED CONNECTION PLATES

EXISTING ANCHOR BOLT AND REINFORCING STEEL. SANDBLAST CLEAN AND PAINT WITH EPOXY. REPLACE ALL ANCHOR BOLTS WITH SIGNIFICANT CORROSION.

EXISTING SPANDREL BEAM

NOTES:

1. REMOVE CONCRETE AS REQUIRED TO OBTAIN A MINIMUM $\frac{3}{4}$ " CLEARANCE BEHIND EXISTING REINFORCING OR ANCHORS.
2. INSTALL EPOXIED - IN STAINLESS STEEL ANCHORS AS DIRECTED BY THE ENGINEER. STAINLESS STEEL ANCHORS SHALL NOT BE IN DIRECT CONTACT WITH REINFORCING STEEL BARS OR ANCHOR BOLT.

REMOVE ALL UNSOUND CONCRETE. REPAIR WILL TYPICALLY EXTEND 6" TO 12" ALONG SPANDREL. RECAST CONCRETE REPAIR TO MATCH ORIGINAL PROFILE. PAINT SURFACE TO MATCH EXISTING WHERE APPLICABLE.

EXISTING PRECAST WALL PANEL

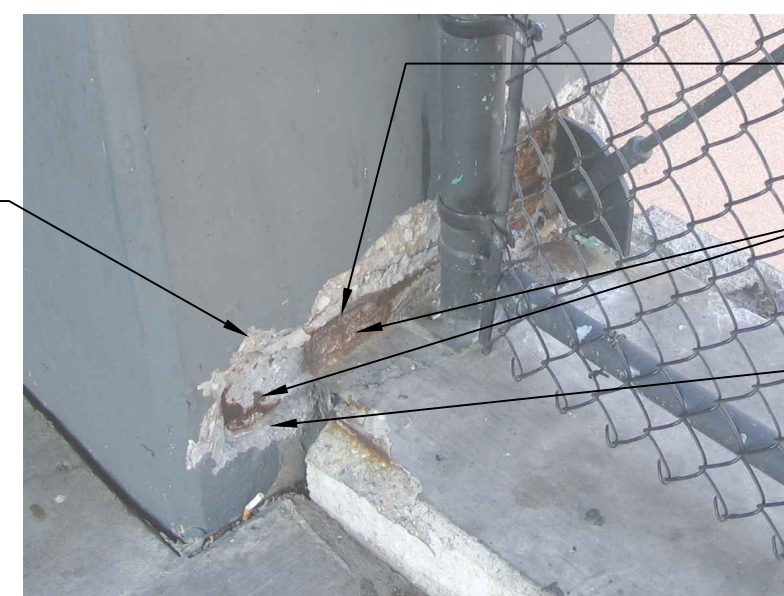
EXISTING WALL PANEL CONNECTION PLATE

GRIND 45 DEGREE, SMOOTH, BEVELED EDGE ON EXISTING CONCRETE TO REMAIN AROUND PERIMETER

REMOVE ENTIRE LENGTH OF ALL EXISTING CRACKED WELDS. NEW WELD SHOULD MATCH SIZE OF ORIGINAL WELD. TEMPORARILY SUPPORT PANEL AS REQUIRED.

REMOVE EXISTING MORTAR PATCH MATERIAL AS NECESSARY TO ACCESS WELDS

GRIND PERIMETER —
CONCRETE EDGE
SMOOTH TO OBTAIN
UNIFORM APPEARANCE.
PAINT CONCRETE
SURFACE TO MATCH
EXISTING.



- INSTALL CANT BEAD OF SILICONE SEALANT AROUND PERIMETER OF EACH STEEL PLATE
- SANDBLAST CLEAN AND PAINT ALL EXPOSED STEEL CONNECTORS WITH EPOXY
- REMOVE ALL SPALLED CONCRETE ADJACENT TO EMBEDDED CONNECTION PLATES. NOTIFY ENGINEER IF UNSOUND CONCRETE EXTENDS BEHIND CONNECTION PLATES. CONCRETE REPAIRS MAY BE NECESSARY AT SOME LOCATIONS.

6 TO E
NOT TO SCALE



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Chicago, Illinois 60616

Mark	Date	Description



Project No.	2021.470
Date	8/17/2022
Drawn	AHD
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Scale	As Noted

Sheet Title

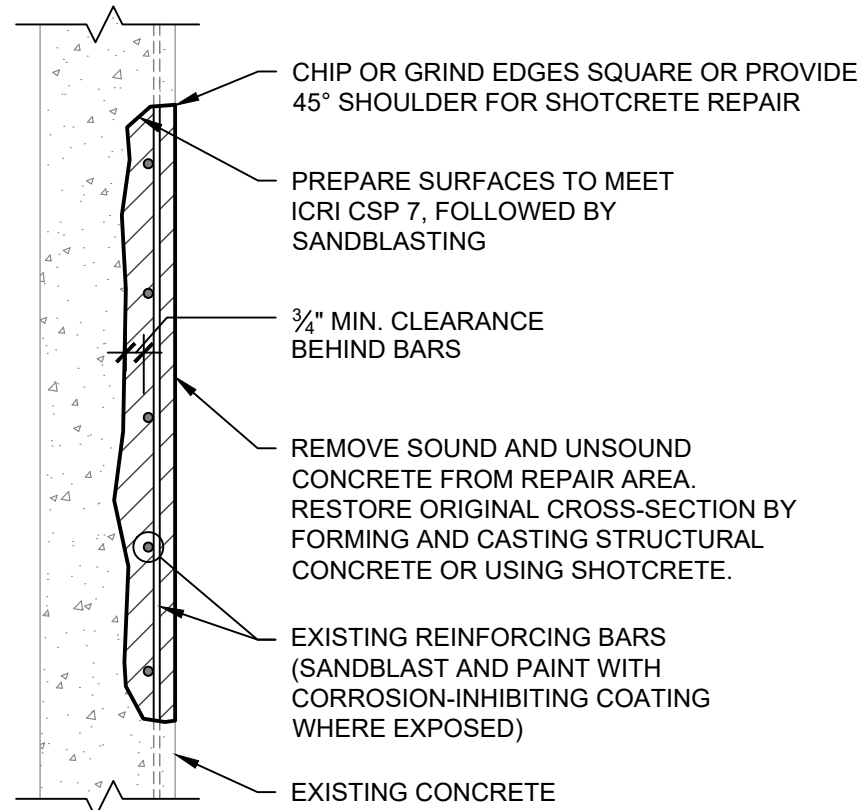
Sheet No

Repair Details

S-501

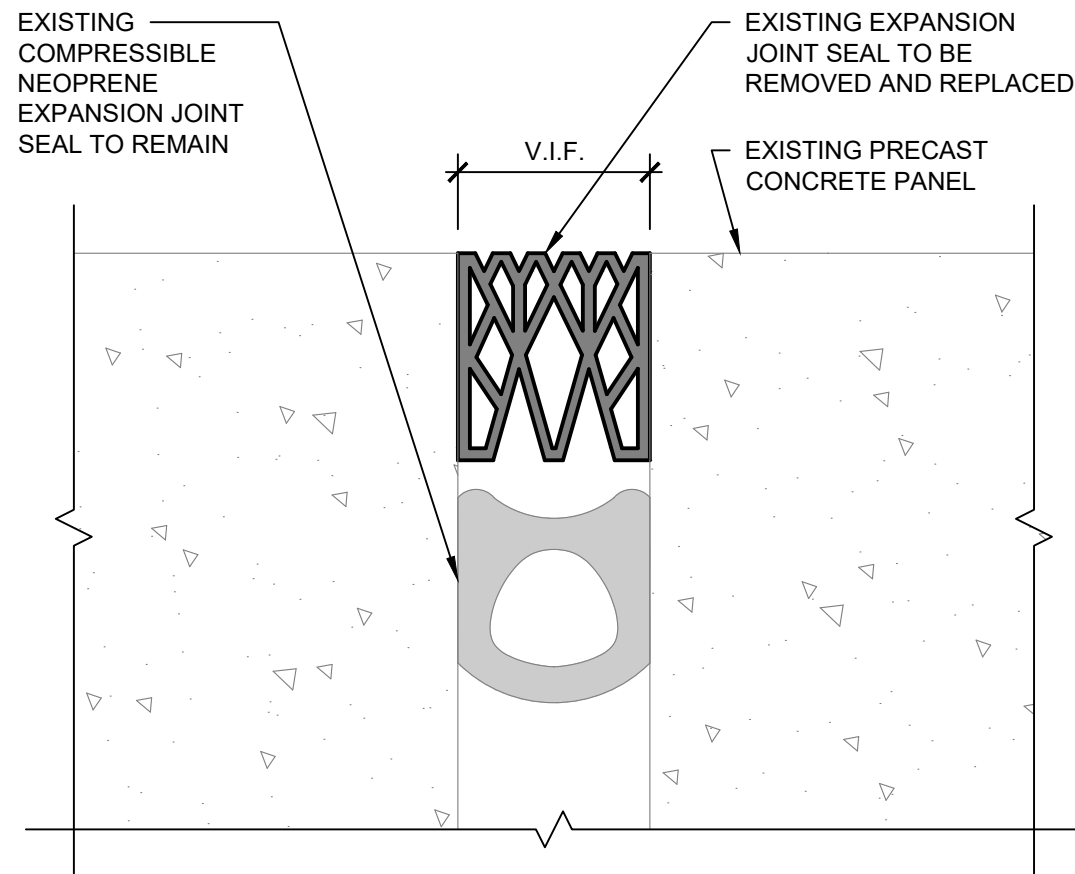
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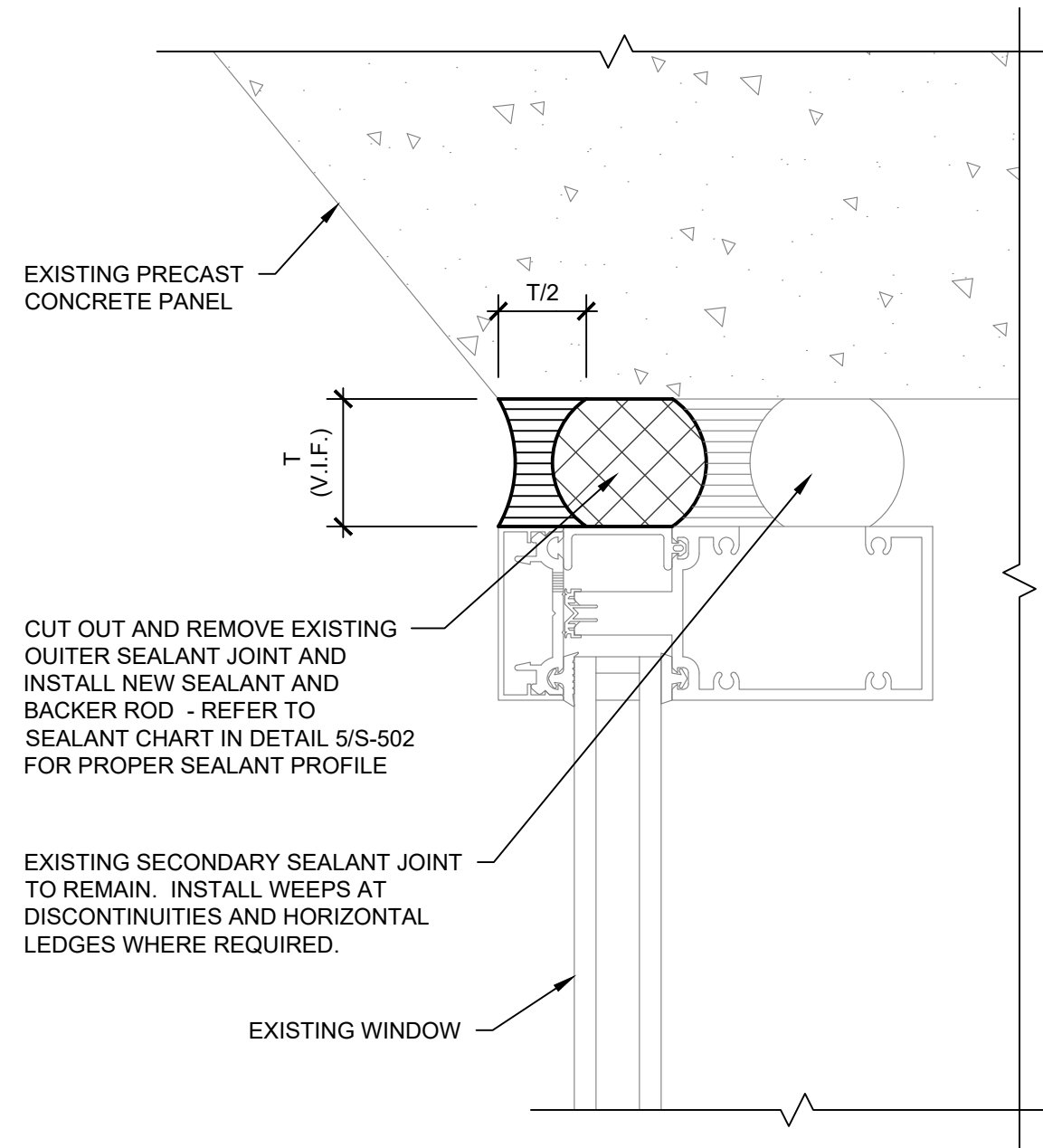
1 CONCRETE REPAIR AT VERTICAL SURFACE

SCALE: 3/4" = 1'-0"



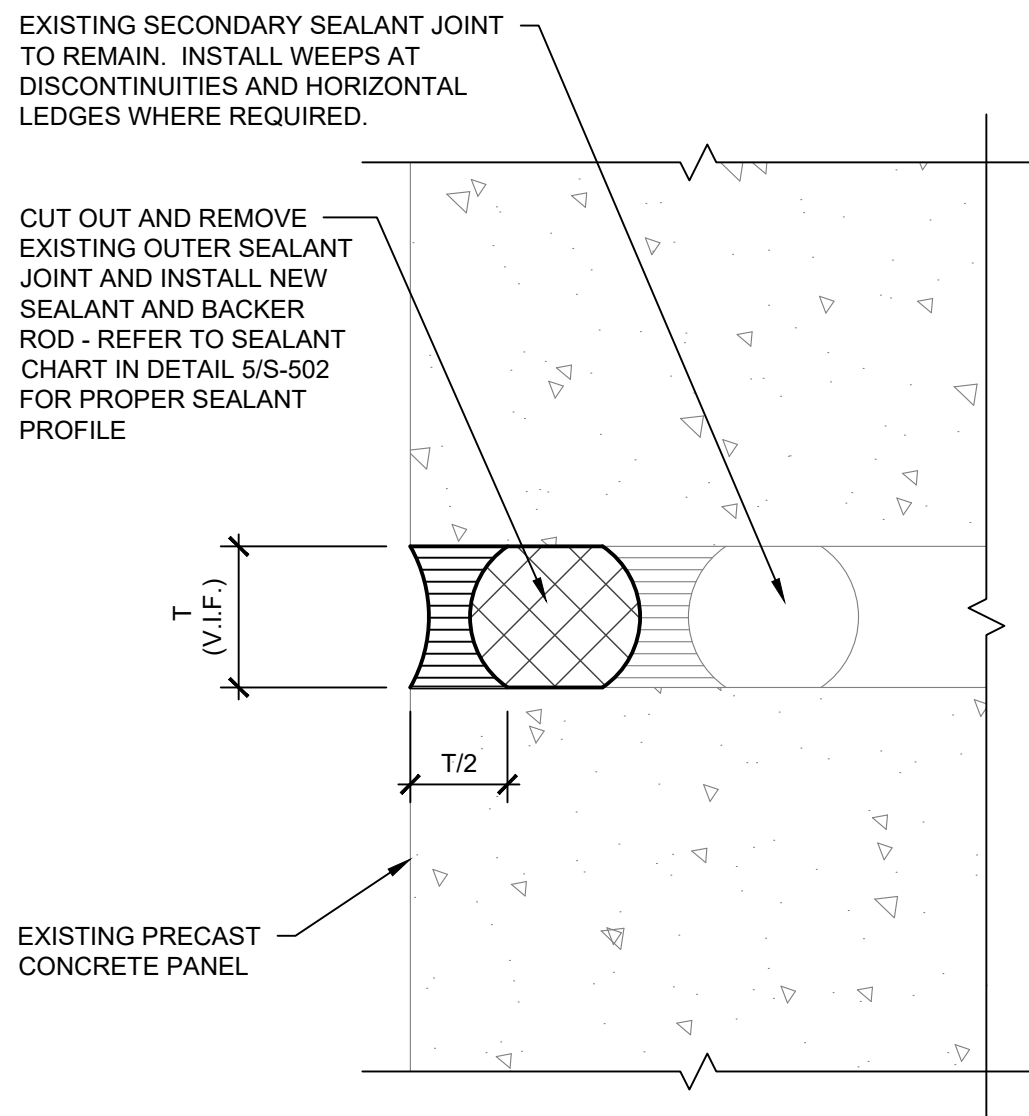
2 EXPANSION JOINT DETAIL

SCALE: 6" = 1'-0"



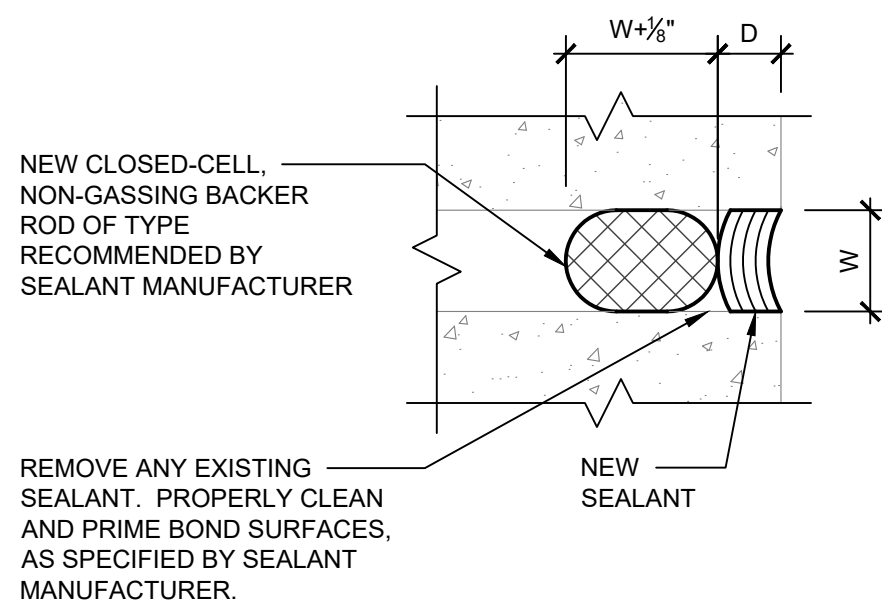
3 WINDOW SEALANT JOINT DETAIL

SCALE: 6" = 1'-0"



4 SEALANT JOINT DETAIL

SCALE: 6" = 1'-0"



5 TYPICAL SEALANT AT HORIZONTAL JOINT

SCALE: 1'-0" = 1'-0"

SEALANT CHART GUIDELINE	
W	D*
1/4 IN. MIN.	1/4 IN.
1/4 IN. TO 1/2 IN.	1/4 IN.
1/2 IN. TO 1 IN.	1/4 IN.
GREATER THAN 1 IN.	1/2 IN. MAX.

* VERIFY WITH SEALANT MANUFACTURER

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San Diego | San Francisco | Seattle | South Florida | Washington, DC

PRELIMINARY

Project

FY2023-FY2025
Facade Restoration at
Guaranteed Rate Field
333 West 35th Street
Chicago, Illinois 60616

Client

Illinois Sports Facilities
Authority
333 West 35th Street
Chicago, Illinois 60616

Mark	Date	Description



THIS SHEET PLOTS FULL SIZE
AT 18x24 (INCHES)

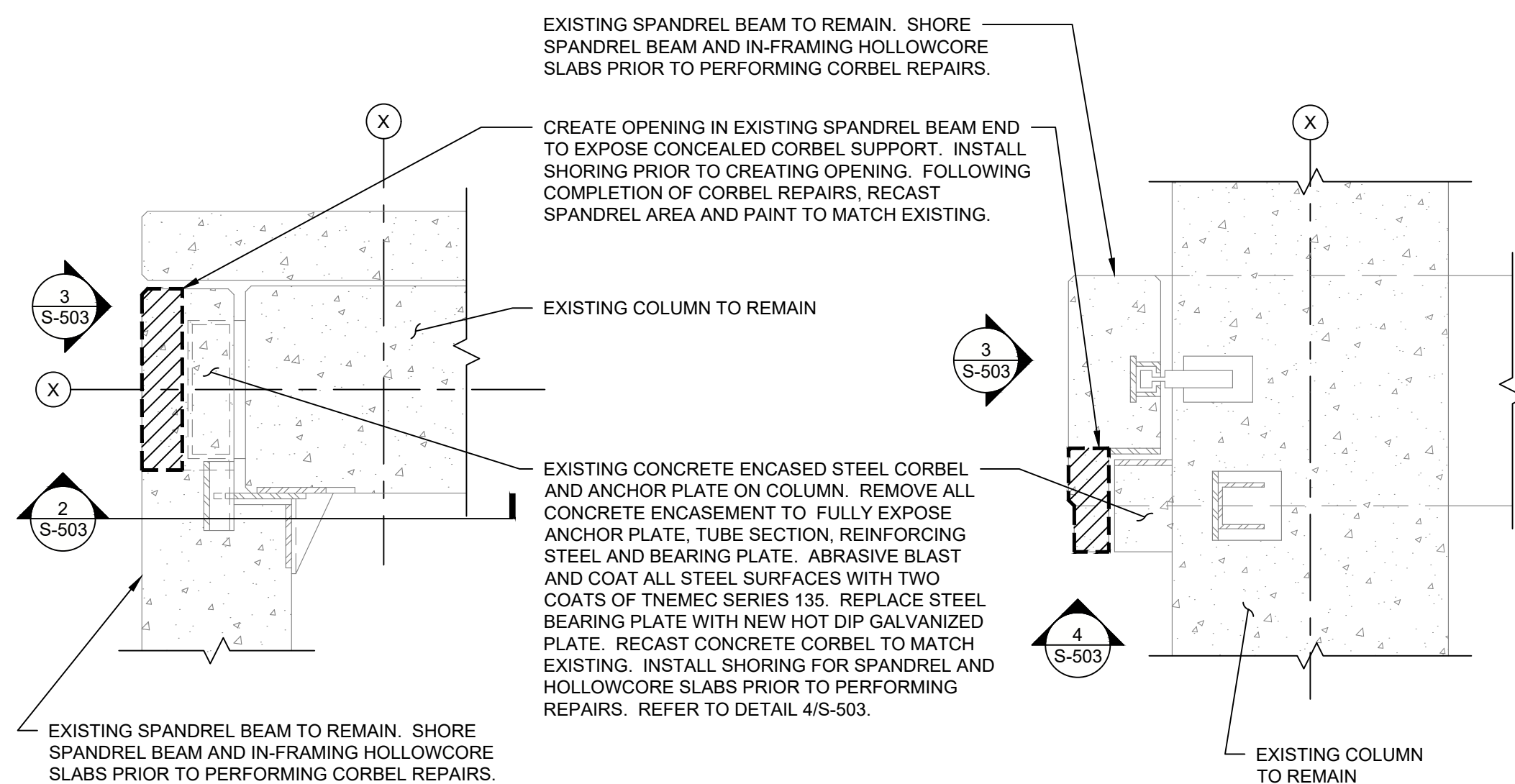
Project No. 2021.4701
Date 8/17/2022
Drawn AHD
Checked BRG
Scale As Noted

Sheet Title

Sheet No.

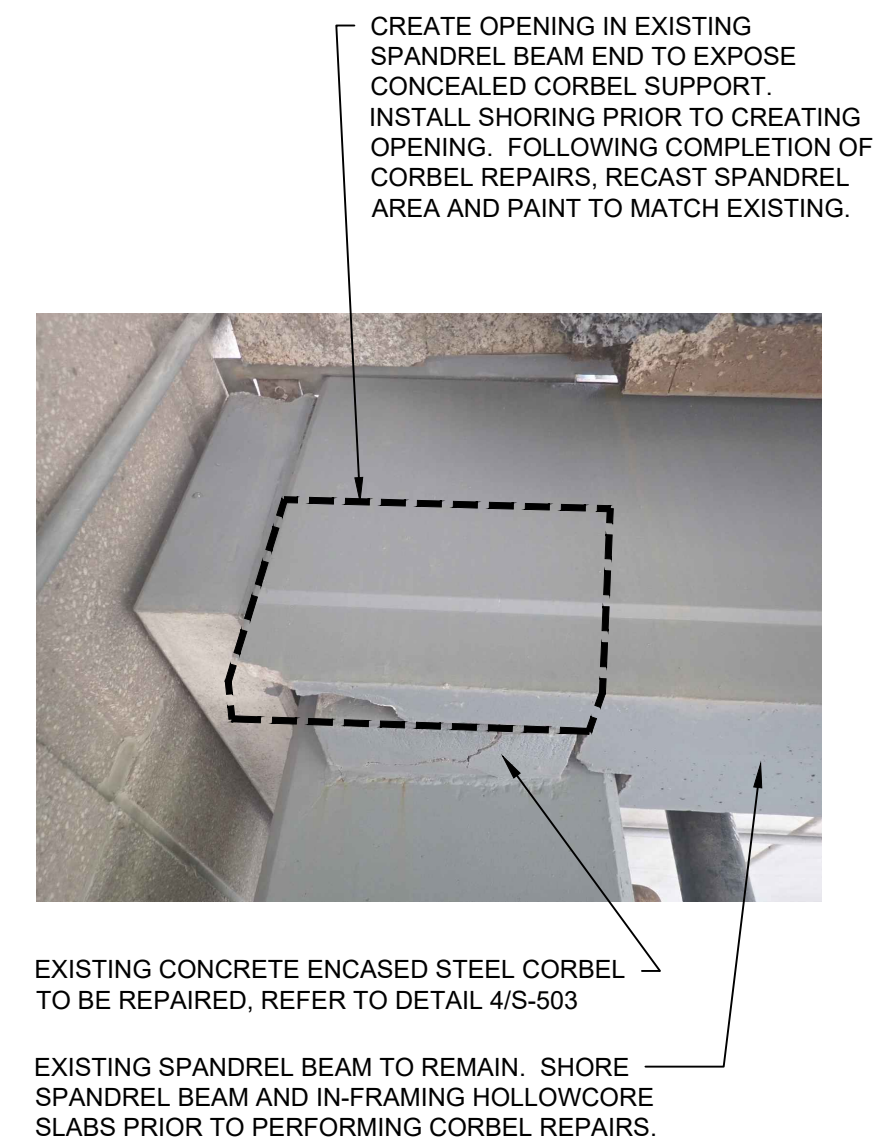
Repair Details

S-502

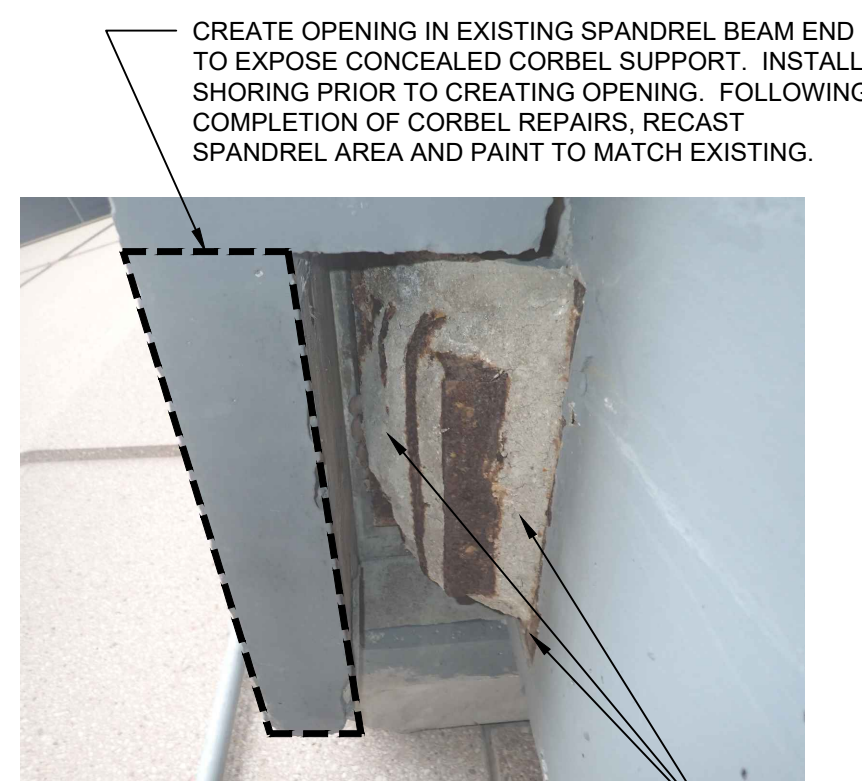


1 CORBEL REPAIR DETAIL - PLAN
SCALE: 1" = 1'-0"

2 CORBEL REPAIR DETAIL - SECTION
SCALE: 1" = 1'-0"



3 CORBEL REPAIR DETAIL - ELEVATION



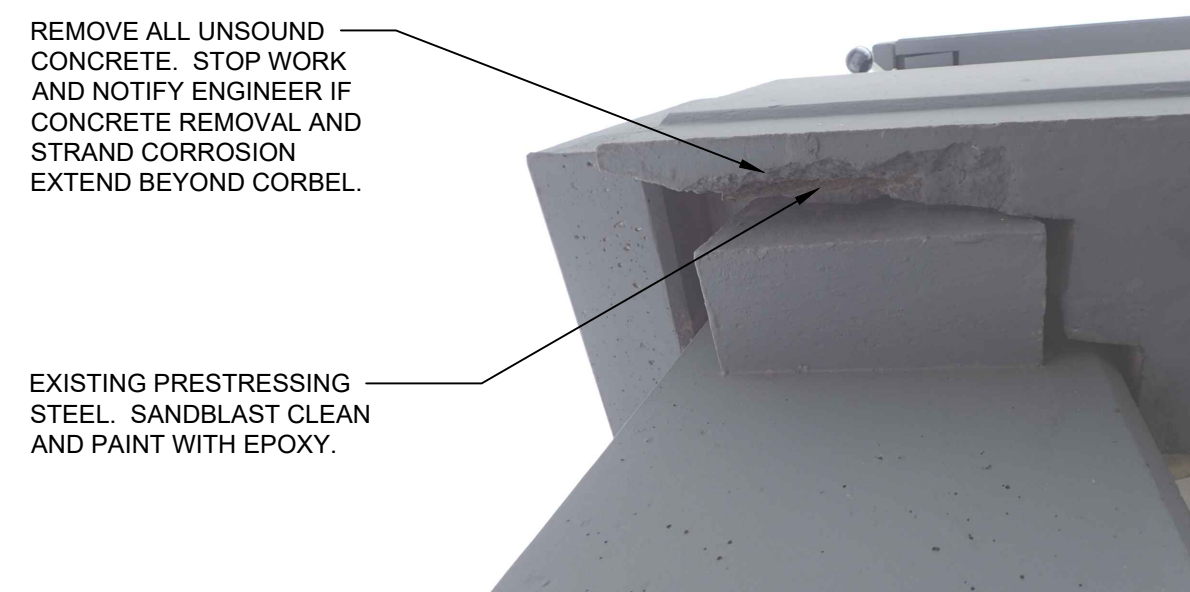
EXISTING CONCRETE ENCASED STEEL CORBEL AND ANCHOR -
PLATE ON COLUMN. REMOVE ALL CONCRETE ENCASEMENT TO
FULLY EXPOSE ANCHOR PLATE, TUBE SECTION, REINFORCING
STEEL AND BEARING PLATE. ABRASIVE BLAST AND COAT ALL
STEEL SURFACES WITH TWO COATS OF NEMEC SERIES 135.
REPLACE STEEL BEARING PLATE WITH NEW HOT DIP
GALVANIZED PLATE. RECAST CONCRETE CORBEL TO MATCH
EXISTING. INSTALL SHORING FOR SPANDREL AND
HOLLOWCORE SLABS PRIOR TO PERFORMING REPAIRS.

4 CORBEL REPAIR DETAIL -
UNDERSIDE VIEW



5 CMU REPAIR DETAIL

NOT TO SCALE



6 SPANDREL END SPALL DETAIL AT EXPOSED PRESTRESSING STRANDS
NOT TO SCALE

- NOTES:**
1. REMOVE CONCRETE AS REQUIRED TO OBTAIN A MINIMUM 3/4" CLEARANCE BEHIND EXISTING REINFORCING STEEL.
 2. INSTALL EPOXIED-IN STAINLESS STEEL ANCHORS AS DIRECTED BY THE ENGINEER. STAINLESS STEEL ANCHORS SHALL NOT BE IN DIRECT CONTACT WITH REINFORCING STEEL BARS.
 3. PAINT CONCRETE TO MATCH EXISTING FOLLOWING COMPLETION OF REPAIR.

WJE

Wiss, Janney, Elstner Associates, Inc.
330 Pfingsten Road
Northbrook, Illinois 60062
847.272.7400 tel | 847.291.9599 fax
www.wje.com

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0 1/2" 1" 2"

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Repair Details

S-503